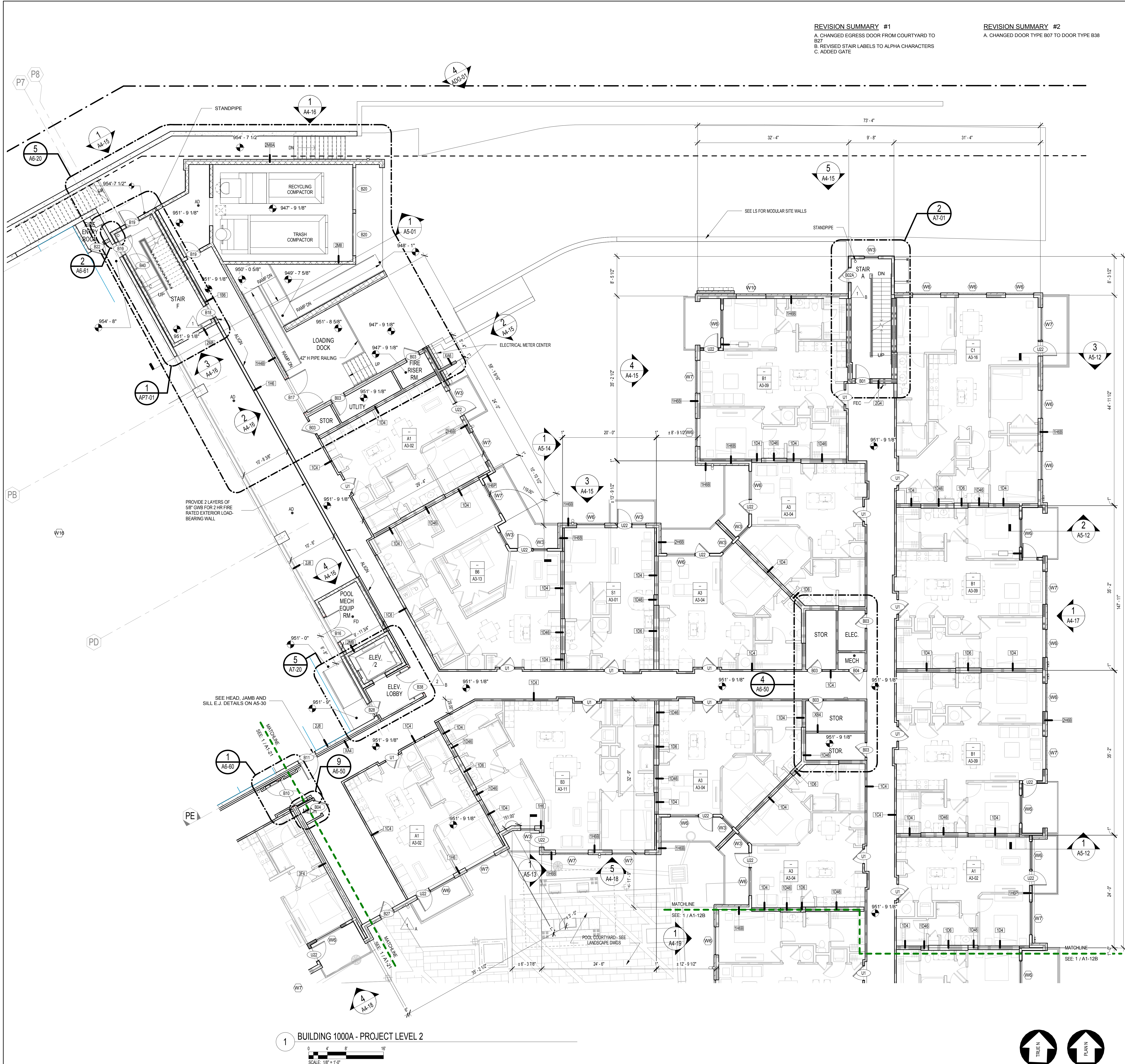


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1 BUILDING 1000A - PROJECT LEVEL 2

SCALE: 1/8" = 1'-0"

REVISION SUMMARY #1
A. CHANGED EGRESS DOOR FROM COURTYARD TO B27
B. REVISED STAIR LABELS TO ALPHA CHARACTERS
C. ADDED GATE

REVISION SUMMARY #2
A. CHANGED DOOR TYPE B07 TO DOOR TYPE B38

LEGEND	
	CMU WALL
	CONCRETE WALL
	UNIT INTERIOR NON-RATED WALLS, 1 HR. RATED IF LOAD BEARING. REFER TO STRUCTURAL DRAWINGS.
	UNIT EXTERIOR WALLS TO BE ONE HOUR RATED UNLESS NOTED OTHERWISE
	1 HOUR FIRE RATED WALL
	2 HOUR FIRE RATED WALL
	UNIT ADDRESS - SEE A0-01
	RESIDENTIAL UNIT TYPE
	LOCATION OF ENLARGED ARCH. PLAN, RCP AND INTERIOR ELEVATIONS
	WINDOW TYPE (SEE SHEET A8-05)

GENERAL NOTES

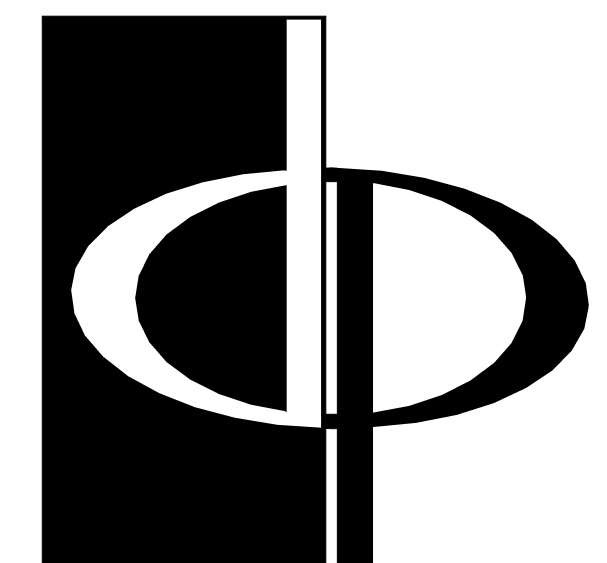
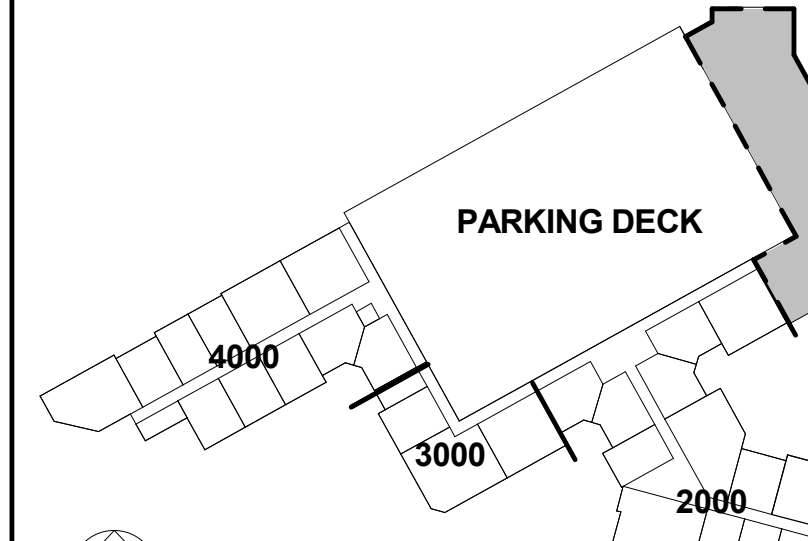
1. REFER TO A3 SERIES FOR ENLARGED RESIDENTIAL UNIT PLANS, DOOR AND WINDOW TYPES AND LOCATION, RESIDENTIAL UNIT ROPS, ETC.
2. REFER TO SHEET CD-30 FOR WALL ASSEMBLY TYPES AND ADDITIONAL INFORMATION.
3. REFER TO SHEET A8-01 FOR DOOR SCHEDULE.
4. ALL SLOPES TO BE 1/8" UNLESS NOTED OTHERWISE.
5. REFER TO INTERIOR DRAWINGS FOR LIGHTING LAYOUTS AND FINISH SPECIFICATIONS.
6. REFER TO BUILDING SECTIONS FOR CORRIDOR FINISHES.
7. EXPANSION JOINTS IN BREEZEWAY/CORRIDOR CEILING TO BE 30'-0" O.C. MAX.
8. DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4" CLEAR OF ROOM FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.
9. ALL BALCONY SLABS TO SLOPE AWAY FROM BUILDING AT 1/4" PER FT. MIN.
10. ALL BALCONIES TO BE CONSTRUCTED OF FRT WOOD AND TO BE 1-HOUR PROTECTED, MINIMUM, WHEN WITHIN 4'-0" OF THE 3-HR FIREWALLS.

ELEVATOR NOTES

NO ELEVATOR LOBBY REQUIRED AT LEVELS 2 - 5 AT BUILDING 1000B
ELEVATOR LOBBY OF DESIGNATED FLOOR TO BE ON LEVEL 1
LEVEL 6 FLOOR TO HAVE ALTERNATE LEVEL ELEVATOR LOBBY SEPARATE FROM REMAINDER OF BUILDING 1000B WITH 1-HR FIRE RATED WALL CONSTRUCTION PER IBC 713.14.2
ERCA = EMERGENCY RESPONSE. COMMUNICATION AS REQUIRED BY F.M. FIELD TEST

BUILDING SUMMARY - LEVELS						
PROJECT LEVEL	FFE	BLDG 1000	BLDG 2000	BLDG 3000	BLDG 4000	PKG DECK
9	1028'-9 1/4"				5	
8	1016'-1 3/8"				4	
7	1005'-5 1/2"			5	3	6
6	994'-9 5/8"	5	5	4	2	5
5	984'-0 1/2"	4	4	3	1	4
4	973'-3 3/8"	3	3	2	B	3
3	962'-6 1/4"	2	2	1		2
2	951'-9 1/8"	1	1			1
1	941'-0"	B				

KEYPLAN



THE PRESTON
PARTNERSHIP, LLC
A MULTI-DISCIPLINARY DESIGN FIRM

SOUTH TERRACES
115 PERIMETER CENTER PLACE, SUITE 950
ATLANTA, GEORGIA 30346
TELEPHONE: 770 396 7248
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WWW.THEPRESTONPARTNERSHIP.COM

CONSULTANT

SEAL



PROJECT

RESERVE AT THE
BALLPARK, PHASE II,
AKA REVEL AT THE
BALLPARK
2885 CRESCENT PKWY
SMYRNA, GA 30080

FOR



ATLANTIC REALTY
PARTNERS

3438 PEACHTREE ROAD
SUITE 1425
ATLANTA, GA 30326

ISSUES & REVISIONS

NO.	DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	08/21/2015
2	SCHEMATIC DESIGN	09/28/2015
3	CMIP/DESIGN DEVELOPMENT	10/15/2015
4	GMP	04/03/2017
5	PERMIT SET	05/22/2017
6	1. FM COMMENTS	07/19/2017
7	2. ADA COMMENTS / COORDINATION	07/25/2017
8	3. BUILDING PERMIT	07/25/2017

DATE

05/22/2017

JOB NUMBER

1493101

DRAWN BY

EKS/NB

CHECKED BY

CW

SHEET TITLE

BUILDING 1000A - PROJECT

LEVEL 2

SHEET NUMBER

A1-12A

COMMENTS

BUILDING PERMIT RE-SUBMISSION

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