



1 BUILDING 1000B - PROJECT LEVEL 6  
SCALE: 1/8" = 1'-0"

REVISION SUMMARY #1  
A. CHANGED STAIR 2 TO STAIR C

REVISION SUMMARY #2  
A. PROVIDED 60" LANDING BETWEEN LEGS OF THE RAMP

REVISION SUMMARY #5  
A. CHANGED WINDOW TYPE TO W5F

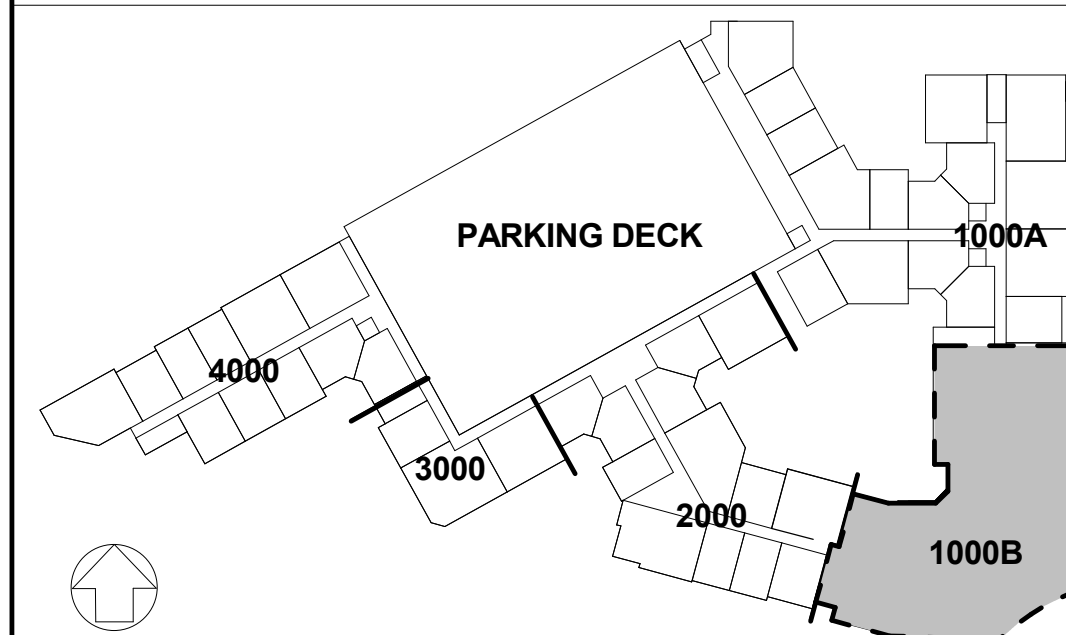
- LEGEND
- CMU WALL
  - CONCRETE WALL
  - UNIT INTERIOR NON-RATED WALLS, 1 HR. RATED IF LOAD BEARING. REFER TO STRUCTURAL DRAWINGS.
  - UNIT EXTERIOR WALLS TO BE ONE HOUR RATED UNLESS NOTED OTHERWISE
  - 1 HOUR FIRE RATED WALL
  - 2 HOUR RATED WALL
  - UNIT ADDRESS - SEE A4-01
  - RESIDENTIAL UNIT TYPE
  - LOCATION OF ENLARGED ARCH. PLAN, RCP AND INTERIOR ELEVATIONS
  - WINDOW TYPE (SEE SHEET A8-05)

- GENERAL NOTES
1. REFER TO A3 SERIES FOR ENLARGED RESIDENTIAL UNIT PLANS, DOOR AND WINDOW TYPES AND LOCATION, RESIDENTIAL UNIT RCP'S, ETC.
  2. REFER TO SHEET CD-30 FOR WALL ASSEMBLY TYPES AND ADDITIONAL INFORMATION.
  3. REFER TO SHEET A8-01 FOR DOOR SCHEDULE.
  4. ALL SLOPES TO BE 1/8" UNLESS NOTED OTHERWISE.
  5. REFER TO INTERIOR DRAWINGS FOR LIGHTING LAYOUTS AND FINISH SPECIFICATIONS.
  6. REFER TO BUILDING SECTIONS FOR CORRIDOR FINISHES.
  7. EXPANSION JOINTS IN BREEZEWAY/CORRIDOR CEILING TO BE 30'-0" O.C. MAX.
  8. DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4" CLEAR OF ROOM FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.
  9. ALL BALCONY SLABS TO SLOPE AWAY FROM BUILDING AT 1/4" PER FT. MIN.
  10. ALL BALCONIES TO BE CONSTRUCTED OF FRT WOOD AND TO BE 1-HOUR PROTECTED, MINIMUM, WHEN WITHIN 4'-0" OF THE 3-HR FIREWALLS.

- ELEVATOR NOTES
- NO ELEVATOR LOBBY REQUIRED AT LEVELS 2 - 5 AT BUILDING 1000B
- ELEVATOR LOBBY OF DESIGNATED FLOOR TO BE ON LEVEL 1
- LEVEL 6 FLOOR TO HAVE ALTERNATE LEVEL ELEVATOR LOBBY SEPARATE FROM REMAINDER OF BUILDING 1000B WITH 1-HR FIRE RATED WALL CONSTRUCTION PER IBC 713.14.2
- ERCA = EMERGENCY RESPONSE. COMMUNICATION AS REQUIRED BY F.M. FIELD TEST

BUILDING SUMMARY - LEVELS						
PROJECT LEVEL	FFE	BLDG 1000	BLDG 2000	BLDG 3000	BLDG 4000	PKG DECK
9	1028'-9 1/4"				5	
8	1018'-1 3/8"				4	
7	1009'-5 1/2"			5	3	6
6	994'-9 5/8"	5	5	4	2	5
5	984'-0 1/2"	4	4	3	1	4
4	973'-3 3/8"	3	3	2	B	3
3	962'-6 1/4"	2	2	1		2
2	951'-9 1/8"	1	1	JACK JACKS		1
1	941'-0"	B				

KEYPLAN



**THE PRESTON PARTNERSHIP, LLC**  
A MULTI-DISCIPLINARY DESIGN FIRM

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CONSULTANT

PROJECT

**RESERVE AT THE BALLPARK, PHASE II, AKA REVEL AT THE BALLPARK**  
2885 CRESCENT PKWY  
SMYRNA, GA 30080

FOR

ATLANTIC REALTY PARTNERS

3438 PEACHTREE ROAD  
SUITE 1425  
ATLANTA, GA 30326

ISSUES & REVISIONS

NO.	DATE	DESCRIPTION
1	08/21/2015	CONCEPTUAL DESIGN
2	09/28/2015	SCHEMATIC DESIGN
3	10/15/2015	CMIP-DESIGN DEVELOPMENT
4	04/03/2017	GMP
5	05/22/2017	PERMIT SET
6	07/19/2017	1. FM COMMENTS
7	07/25/2017	2. ADA COMMENTS / COORDINATION
8	07/25/2017	3. BUILDING PERMIT
9	10/02/2017	5. BUILDING PERMIT COMMENTS / COORDINATION

DATE: 05/22/2017

JOB NUMBER: 1493101

DRAWN BY: EKS/NB

CHECKED BY: CW

SHEET TITLE: BUILDING 1000B - PROJECT LEVEL 6

SHEET NUMBER: A1-16B

COMMENTS: BUILDING PERMIT RE-SUBMISSION

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