

**REVISION SUMMARY #2**  
A. CHANGED EXT DOOR B02 TO INT DOOR B01

## REVISION SUMMARY #5

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**A. MOVED FIRE WALL, MOVED LOCATION OF DOUBLE DOORS, ADDED STANDPIPE, AND RELOCATED DOOR TO LEVEL 4**  
**B. ADDED CONCRETE SLAB AND EXTENDED C.I.P. WALL**

GENERAL NOTES

1. REFER TO A4 SERIES FOR ENLARGED RESIDENTIAL UNIT PLANS, DOOR AND WINDOW TYPES AND LOCATION. RESIDENTIAL UNIT RCPs, ETC.
2. REFER TO SHEET CD-30 FOR WALL ASSEMBLY TYPES AND ADDITIONAL INFORMATION
3. REFER TO SHEET A8-01 FOR DOOR SCHEDULE.
4. ALL SLOPES TO BE 1/8" UNLESS NOTED OTHERWISE.
5. REFER TO INTERIOR DRAWINGS FOR LIGHTING FIXTURES AND FINISH SPECIFICATIONS.
6. REFER TO BUILDING SECTIONS FOR CORRIDOR FINISHES.
7. EXPANSION JOINTS IN BREEZEWAY/CORRIDOR CEILING TO BE 30'-0" O.C. MAX.
8. DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4'-0" CLEAR OF ROOM FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.
9. ALL BALCONY SLABS TO SLOPE AWAY FROM BUILDING AT 1/4" PER FT MIN
10. ALL BALCONIES TO BE CONSTRUCTED OF FRT WOOD AND TO BE 1-HOUR PROTECTED MINIMUM, WHEN WITHIN 4'-0" OF THE 3-HR FIREWALLS.

## ELEVATOR NOTES

NO ELEVATOR LOBBY REQUIRED AT LEVELS 2 - 5 AT BUILDING 1000B

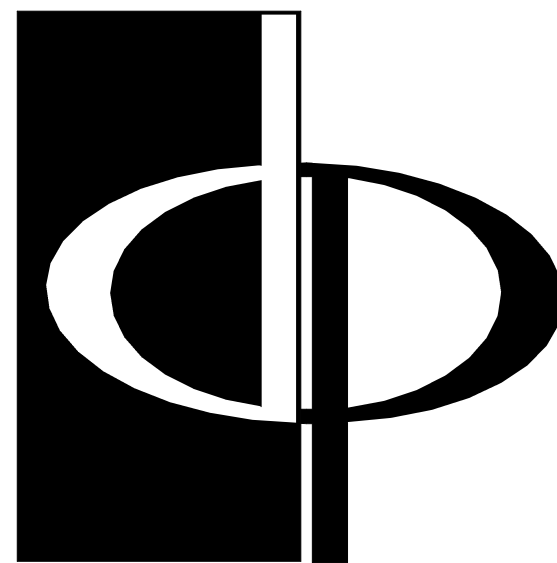
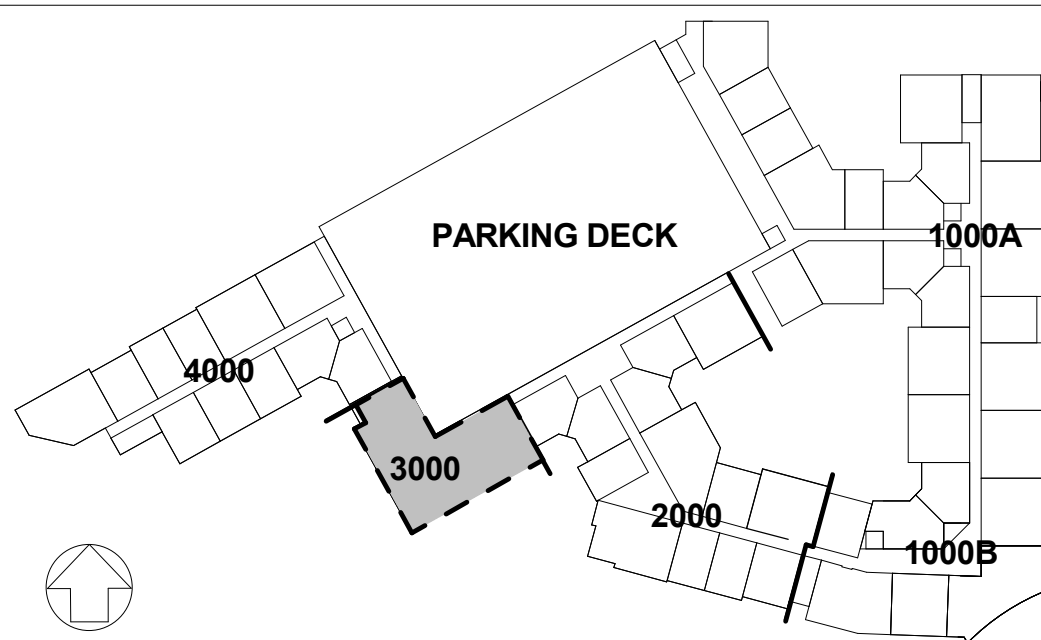
ELEVATOR LOBBY OF DESIGNATED FLOOR TO BE ON LEVEL 1

LEVEL 6 FLOOR TO HAVE ALTERNATE LEVEL ELEVATOR LOBBY SEPARATE FROM REMAINDER OF BUILDING 1000B WITH 1-HR FIRE RATED WALL CONSTRUCTION PER IBC 713.14.2

ERCA = EMERGENCY RESPONSE COMMUNICATION AS REQUIRED BY F.M. FIELD TEST

BUILDING SUMMARY - LEVELS						
PROJECT LEVEL	FFE	BLDG 1000	BLDG 2000	BLDG 3000	BLDG 4000	PKG DECK
9	1025'-9 1/4"				5	
8	1016'-1 3/8"				4	
7	1005'-5 1/2"			5	3	6
6	994'-5 5/8"	5	5	4	2	5
5	984'-0 1/2"	4	4	3	1	4
4	973'-3 3/8"	3	3			3
3	962'-6 1/4"	2	2	1		2
2	951'-8 1/8"	1	1	DRIVE UNDER		1
1	941'-0"	B				

## KEYPLAN



**THE PRESTON  
PARTNERSHIP, LLC**  
A MULTI-DISCIPLINARY DESIGN FIRM

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CONSULTANT

SEAL \_\_\_\_\_



PROJECT

RESERVE AT THE  
BALLPARK, PHASE II,  
AKA REVEL AT THE  
BALLPARK  
2885 CRESCENT PKWY  
SMYRNA, GA 30080

FOR \_\_\_\_\_



ATLANTIC REALTY  
PARTNERS

3438 PEACHTREE ROAD  
SUITE 1425  
ATLANTA, GA 30326

ISSUES &  - REVISIONS \_\_\_\_\_ DATE \_\_\_\_\_

CONCEPTUAL DESIGN	08/21/2015
SCHEMATIC DESIGN	09/28/2015
GMP/DESIGN DEVELOPMENT	10/15/2015
GMP	04/03/2017
PERMIT SET	05/22/2017
1 FM COMMENTS	07/19/2017
2 ADA COMMENTS / COORDINATION	07/25/2017
3 BUILDING PERMIT	07/25/2017
5 BUILDING PERMIT COMMENTS / COORDINATION	10/02/2017

[illegible]

DATE 05/22/2017

JOB NUMBER 1493101

DRAWN BY EKS/NB

CHECKED BY \_\_\_\_\_

SHEET TITLE BUILDING 3000 - PROJECT  
LEVEL 4

SHEET NUMBER \_\_\_\_\_

A1-33

COMMENTS \_\_\_\_\_  
BUILDING PERMIT RE-SUBMISSION

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