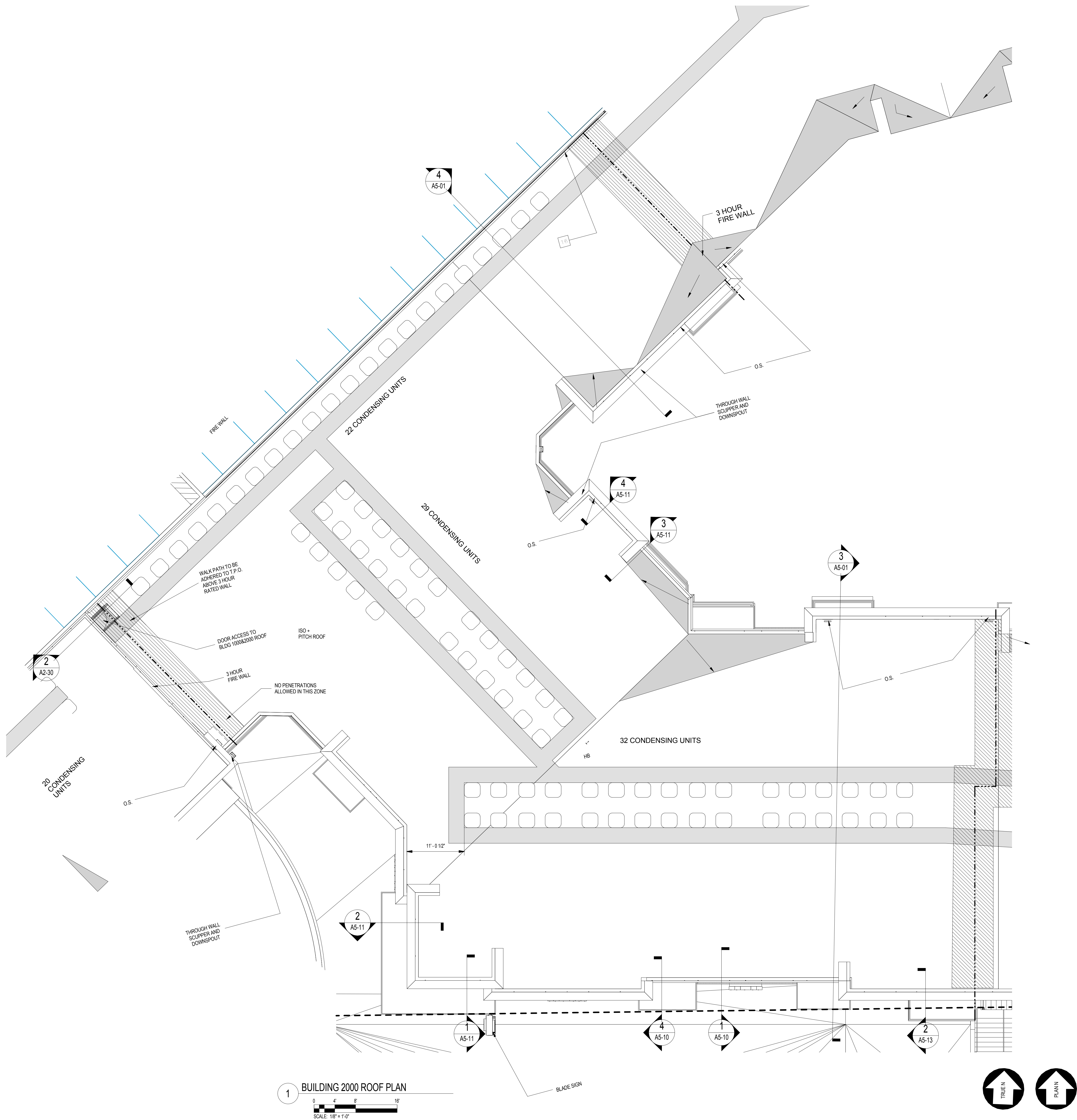


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1 BUILDING 2000 ROOF PLAN  
SCALE: 1/8" = 1'-0"

#### LEGEND

- ROOF SLOPE 1/4" PER FT.
- ROOF WALK PADS
- APPROX. ROOF ELEVATION
- RV
- RV
- CONDENSERS
- TPO ROOFING MEMBRANE WALKING PATH
- 4" HIGH X 12" WIDE SCUPPER W/PERFINISHED COLLECTOR HEAD & 6" DIA. ROUND DOWNSPOUT, TYP. AT BRICK PARAPET
- 4" WIDE FIRE RATED DECKING
- O.S. (OVERFLOW SCUPPER)
- 90 MINUTE DOOR THROUGH FIRE WALL WITH CLOSER

#### GENERAL ROOF NOTES

- SEE MECHANICAL /PLUMBING FOR ADDITIONAL NOTES AND DETAILS
- VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL AND MEP.
- ALL EQUIPMENT ON ROOF TO BE MOUNTED ON CURBS
- ALL VENT AND LINE-SET LOCATIONS SHOULD BE COORDINATED WITH MECHANICAL AND PLUMBING DRAWINGS.
- CONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PRE-FABRICATED CURBS AND PENETRATIONS OF ROOF MEMBRANE. CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING, NAILERS, ETC. AS NECESSARY FOR A WATERTIGHT AND WATERPROOF ROOF.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY, COORDINATE AND/OR INSTALL ALL ADJACENT AND/OR RELATED FLASHING, BLACKINGS NAILERS, VENTING, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE, WHICH ARE REQUIRED FOR A COMPLETE WARRANTED, WATERTIGHT, WATERPROOF INSTALLATION.
- ALL ROOFS ARE TO HAVE A MINIMUM 1/4" / FT AND 1/2" / FT MIN FALL WHERE CRICKET VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT THE VALLEY.
- LOCATIONS OF ROOF ACCESSORIES AND MATERIALS ARE SCHEMATIC IN NATURE. EXACT LOCATIONS SHALL BE DETERMINED BY INFORMATION ELSEWHERE IN THE DRAWINGS.
- DOWNSPOUTS ARE TO BE 4" DIA. OR 4"x4" PREFINISHED ALUMINUM KYNAR ANNA 2809 FINISH IN SILVER COLOR OR PER ELEV. SEE CIVIL FOR PIPING TO STORM.
- PROVIDE SCREENING AT ALL ROOF OPENINGS INTO THE ATTIC SPACE. OPENINGS IN THE SCREEN SHALL NOT EXCEED 1/4"
- E.O.S. = EMERGENCY OVERFLOW SCUPPER
- PIPE ALL CONDENSATE LINES TO GUTTERS.
- ROOF AREAS IN EXCESS OF 200' IN LENGTH OR WIDTH TO HAVE EXPANSION JOINTS OR AREA DIVIDERS.
- ROOF WALKING PADS TO BE 200 MIL. MIN. THICKNESS IN 16' ROLLS OR PER MANUFACTURERS STANDARDS. WALKWAY PADS ARE ACCEPTABLE.
- UNDERLAYMENT SHALL BE FASTENED W/CORROSIONS RESISTANT FASTENERS PER MANUFACTURERS RECOMMENDATIONS AND DECKING TO BE BONDED TO ROOF TRUSS WITH EXTERIOR GRADE CONSTRUCTION ADHESIVE.
- PROVIDE GUARDRAILS OR EXTENDED PARAPET HEIGHT TO 42" MIN. ABOVE WALKING SURFACE WHERE WITHIN 10' OF MECHANICAL EQUIPMENT, DOORWAYS, AND ROOF HATCHES.
- ALTERNATE: MECHANICALLY ATTACHED TPO ROOF TO MEET WIND LOADS PER IBC 1609 WITH EDGES SECURED PER STRUCTURAL.
- PROVIDE ROOF HYDRANTS PER PLUMBING OR IF NOT NOTED, AT EACH ELEVATOR OR STAIR SHAFT.
- ROOF TRUSS MNFR SHALL PROVIDE ENGINEERED, STAMPED SHOP DWGS TO ARCHITECT FOR APPROVAL TO FABRICATION AND COORDINATE TRUSS DESIGN WITH PARAPET EXTENSION EYEBROWS FOR IMPLEMENTATION IN TO TRUSS DESIGN.
- OMISSION OF ANY ACCESSORY FROM THE ROOF PLAN SHALL NOT RELIEVE THE GC FROM THE RESPONSIBILITIES FOR SUCH ITEMS.
- LOCATIONS OF ROOF ACCESSORIES AND MATERIALS ARE SCHEMATIC IN NATURE. EXACT LOCATIONS SHALL BE DETERMINED BY INFORMATION ELSEWHERE ON THE DRAWINGS.
- FIREFALL TO EXTEND 30" ABOVE THE LOWER ROOF LEVEL. ACT. FIREFALL MAY STOP @ THE UNDERSIDE OF THE ROOF. SHEATHING/DECK OF LOWER ROOF IF FRP DECKING IS PROVIDED @ LOWER ROOF FOR 10' HORIZONTALLY. NO OPENING ALLOWED WITHIN 10' AREA OF LOWER ROOF. PER IBC 706.6.1.

#### DOWNSPOUT CALCULATIONS

ROOF DRAINAGE CALCULATIONS ARE BASED ON INTERNATIONAL BUILDING CODE. BASED ON MAP 1106.1 ATLANTA 100 YEAR, 1 HOUR RAINFALL IS 3.75"

DOWNSPOUT CALCULATION PER IPC 2008:  
ATLANTA RAIN INTENSITY : 47 HOUR/100 YR.  
TABLE 11B.2  
DIAMETER OF LEADER 6" WITH RAINFALL 4"HOUR  
HORIZONTAL PROJECTED ROOF AREA = 13,500 SF  
BASED ON 5" OF RAIN / HOUR USE : 3,680 FOR 4" DOWNSPOUT

#### DOWNSPOUT CALCULATION :

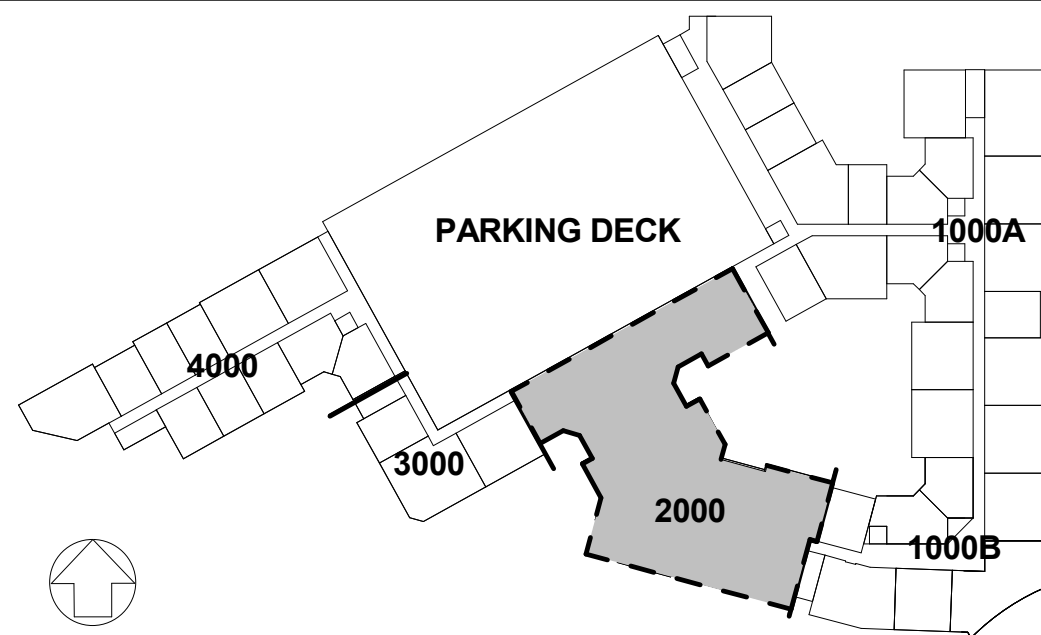
ROOF AREA BUILDING 1000 = 32,044 SF  
DOWNSPOUT NEEDED: 32,044 SF: 3,680 = 8.7  
DOWNSPOUTS REQUIRED = 9  
INSTALL TOTAL 9 DOWNSPOUTS PER ROOF LAYOUT

ROOF AREA BUILDING 2000 = 14,212 SF  
DOWNSPOUT NEEDED: 14,212 SF: 3,680 = 3.8  
DOWNSPOUTS REQUIRED = 4  
INSTALL TOTAL 4 DOWNSPOUTS PER ROOF LAYOUT

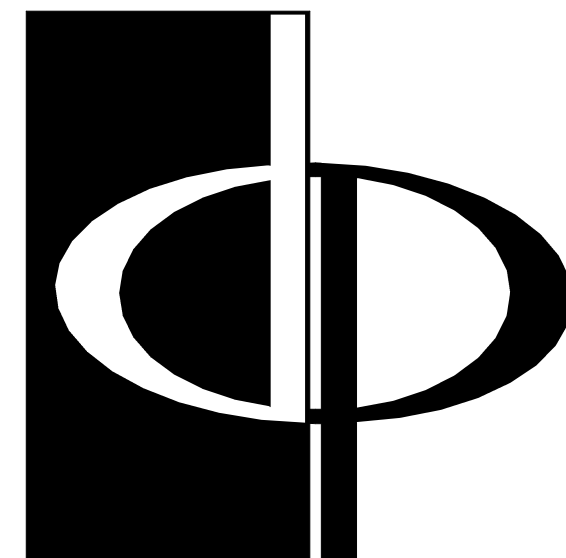
ROOF AREA BUILDING 3000 = 8,517 SF  
DOWNSPOUT NEEDED: 8,517 SF: 3,680 = 2.3  
DOWNSPOUTS REQUIRED = 3  
INSTALL TOTAL 3 DOWNSPOUTS PER ROOF LAYOUT

ROOF AREA BUILDING 4000 = 24,398 SF  
DOWNSPOUT NEEDED: 24,398 SF: 3,680 = 6.6  
DOWNSPOUTS REQUIRED = 7  
INSTALL TOTAL 7 DOWNSPOUTS PER ROOF LAYOUT

#### KEYPLAN



#### ROOF LEGEND



**THE PRESTON  
PARTNERSHIP, LLC**  
A MULTI-DISCIPLINARY DESIGN FIRM

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TELEPHONE: 770 396 7248  
FAX: 770 396 2945

WWW.THEPRESTONPARTNERSHIP.COM  
CONSULTANT

SEAL



PROJECT

**RESERVE AT THE  
BALLPARK, PHASE II,  
AKA REVEL AT THE  
BALLPARK**  
2885 CRESCENT PKWY  
SMYRNA, GA 30080

FOR



**ATLANTIC REALTY  
PARTNERS**

3438 PEACHTREE ROAD  
SUITE 1425  
ATLANTA, GA 30326

ISSUES & REVISIONS

GMP	04/03/2017
PERMIT SET	05/22/2017
3. BUILDING PERMIT	07/25/2017

DATE 05/22/2017

JOB NUMBER 1493101

DRAWN BY EKS/NB

CHECKED BY CWB

SHEET TITLE BUILDING 2000 ROOF PLAN

SHEET NUMBER

**A2-20**

COMMENTS BUILDING PERMIT RE-SUBMISSION

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