

Atlantic Realty Partners   Circle 75 Phase II											
UNIT DATA 04-19-2017											
UNIT SF GOAL	UNIT TYPE	UNIT DESCRIPTION	UNIT QTY ACTUAL	BEDS ACTUAL	HEATED AREA ACTUAL (UNITS)	BALCONY AREA ACTUAL PER UNIT	TOTAL HEATED AREA ACTUAL	TOTAL GROSS SF	TOTAL GROSS AREA ACTUAL	PERCENTAGE ACTUAL	
620	S1	1BED/1BATH (Studio - Cant Balcony)	30	30	623 SF	55 SF	18,690 SF	678	20,340 SF	10.91%	
TOTAL STUDIO			30	30	623 SF		18,690 SF		20,340 SF	10.91%	
693	A1	1BED/1BATH (Cant Balcony)	59	59	701 SF	69 SF	41,359 SF	770	45,430 SF	21.45%	
756	A2	1BED/1BATH (Inset Balcony)	3	3	851 SF	72 SF	2,553 SF	923	2,769 SF	1.09%	
920	A2-HC	1BED/1BATH (Inset Balcony, Level 3)	1	1	851 SF	72 SF	851 SF	923	923 SF	0.36%	
	A3	1BED/1BATH (Inside Corner)	56	56	731 SF	85 SF	40,936 SF	816	45,696 SF	20.36%	
	A3A	1BED/1BATH (Inside Corner over Club)	4	4	838 SF	110 SF	3,352 SF	948	3,792 SF	1.45%	
	A4	1BED/1BATH A2 mod (above Fitness)	1	1	901 SF	88 SF	901 SF	989	989 SF	0.36%	
	A5	1BED/1BATH (Above Loading Dock)	3	3	966 SF	52 SF	2,898 SF	1,018	3,054 SF	1.09%	
	A5-HC	1BED/1BATH (Above Loading Dock, Level 4)	1	1	966 SF	52 SF	966 SF	1,018	1,018 SF	0.36%	
	A6	1BED/2BATH DEN (abv Pool Corridor)	4	4	1,027 SF	69 SF	4,108 SF	1,096	4,384 SF	1.45%	
TOTAL 1 BEDRMS			132	132	742 SF		97,924 SF		108,055 SF	48.00%	
1066	B1	2 BED/2BATH (Inset Balcony)	68	136	1,076 SF	90 SF	73,168 SF	1,166	79,288 SF	24.73%	
1097	B2	2 BED/2BATH (Inside Corner)	2	4	1,344 SF	80 SF	2,688 SF	1,424	2,848 SF	0.73%	
	B2-HC	2 BED/2BATH (Inside Corner, Levels 2,3 &4)	3	6	1,344 SF	80 SF	4,032 SF	1,424	4,272 SF	1.09%	
	B3	2 BED/2BATH (Inside Corner)	5	10	1,264 SF	41 SF	6,320 SF	1,305	6,525 SF	1.82%	
	B5	2 BED/2BATH (Outside Corner)	5	10	1,432 SF	89 SF	7,160 SF	1,521	7,605 SF	1.82%	
	B6	2 BED/2BATH (Inside Corner)	5	10	1,139 SF	127 SF	5,695 SF	1,266	6,330 SF	1.82%	
	B7	2 BED/2BATH (Outside Corner)	6	12	1,268 SF	59 SF	7,608 SF	1,327	7,962 SF	2.18%	
	B8	2 BED/2BATH (End Corner)	5	10	1,220 SF	131 SF	6,100 SF	1,351	6,755 SF	1.82%	
TOTAL 2 BEDRMS			99	198	1,139 SF		112,771 SF		121,585 SF	36.00%	
1385	C1	3 BED/2BATH (Outside Cnr)	5	15	1,398 SF	92 SF	6,990 SF	1,490	7,450 SF	1.82%	
1439	C1-HC	3 BED/2BATH (Outside Cnr, Level 1)	1	3	1,398 SF	92 SF	1,398 SF	1,490	1,490 SF	0.36%	
	C3A	3 BED/2BATH (Outside Cnr - Wrap Balc)	5	15	1,375 SF	247 SF	6,875 SF	1,622	8,110 SF	1.82%	
1492	C3	3 BED/2 BATH (Curve) DECK	1	3	1,689 SF	573 SF	1,689 SF	2,262	2,262 SF	0.36%	
1492	C3a	4 BED/2 BATH (Curve) BALCONY	1	3	1,689 SF	297 SF	1,689 SF	1,986	1,986 SF	0.36%	
1492	C3b	5 BED/2 BATH (Curve) JULIETTE	1	3	1,689 SF	0 SF	1,689 SF	1,689	1,689 SF	0.36%	
TOTAL 3 BEDRMS			14	42	1,452 SF		20,330 SF		22,987 SF	5.09%	
TOTAL			275	402	908 SF		249,715 SF		272,967 SF	100.00%	

288 MAILBOXES PROVIDED.  
64 PARCELS PROVIDED

## CABINET NOTES

- ALL CABINETS ARE ON 3" MODULE.
- MAXIMUM SINGLE DOOR CABINET NOT TO EXCEED 24". MAXIMUM MULTIPLE DOOR CABINET NOT TO EXCEED 48". DOOR STYLE WILL VARY PER MANUFACTURER AND DESIGN INTENT. A 24" DOOR IS PERFECTLY ACCEPTABLE ON A 24" CABINET IN A FULL OVERLAY APPLICATION.
- FIELD VERIFY ALL DIMENSIONS.
- D - DRAWERS
- CABINET SUB TO CONSTRUCT AND INSTALL ALL DESK COUNTERTOPS SO THAT THEY DO NOT DEFLECT UNDER LOAD OF 75 LBS.
- F - FILLER - 1" OR 3" AND WILL BE RIPPED IN FIELD.
- KITCHEN BASE CABINETS SHALL BE 24" DEEP AND WALL CABINETS SHALL BE 12" DEEP, UNLESS OTHERWISE NOTED.
- BATHROOM VANITIES SHALL BE 21" DEEP, UNLESS OTHERWISE NOTED.
- REFER TO ENLARGED UNIT PLANS FOR MILLWORK ELEVATIONS.
- PROVIDE SCRIBE MOLDING AND/OR FINISHED ENDS AS REQUIRED.
- SUPPLIER TO FIELD VERIFY AREA OF WORK AFTER ROUGH FRAMING TO ASSURE FIT. THE CABINETS SHALL MATCH PLANS (NOTIFY ARCHITECT OF ANY DISCREPANCIES)
- SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.

## UNIT PLAN NOTES

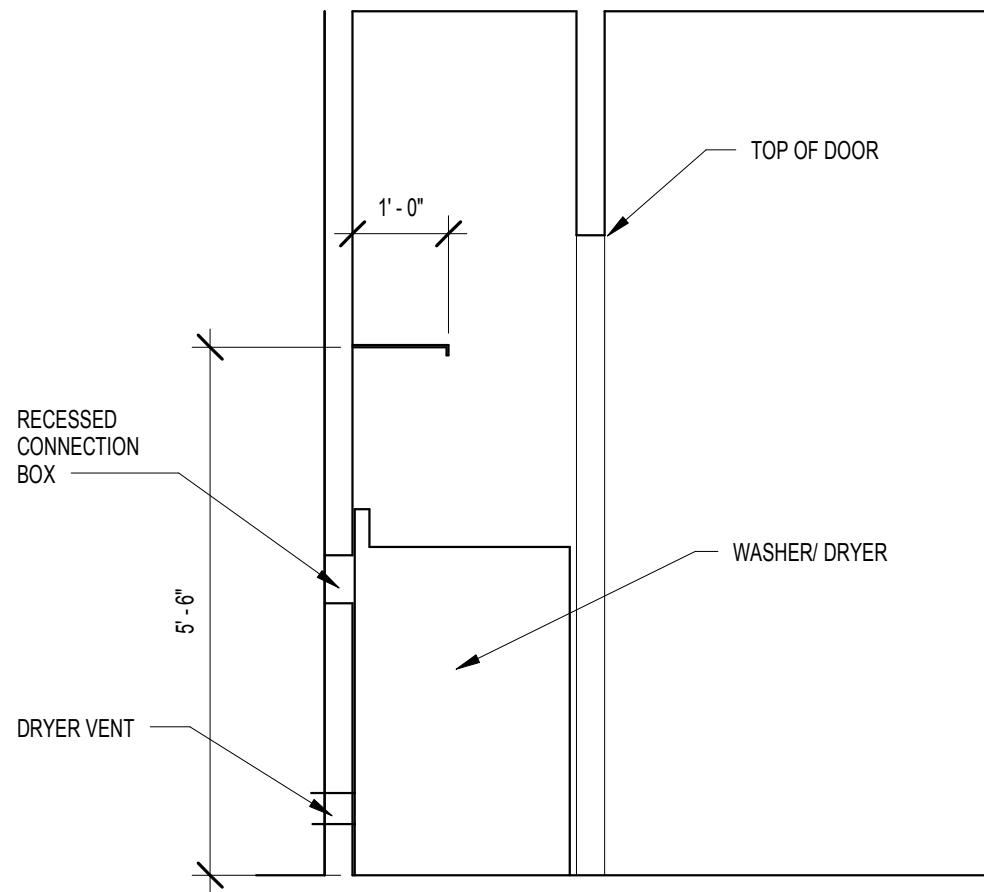
- ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF STUD FRAMING OR METAL STUD FRAMING UNLESS NOTED OTHERWISE.
- ALL ANGLED WALLS ARE 45°, UNLESS NOTED OTHERWISE.
- DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4" CLEAR OF ROOM FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.
- ALL PLUMBING WALLS SHALL BE FRAMED WITH 2x6 STUDS, REFER TO PLANS FOR LOCATIONS
- ALL GYP. BD TO BE 5/8" TYPE "X". PROVIDE GEORGIA PACIFIC DENSISHIELD TILE BACKER BOARD AT ALL WET LOCATIONS (KITCHEN/TOILET) BACKSPLASHES, TUB SURROUNDS AND LAUNDRY WET WALLS.)
- ALL SHELVING IN CLOSETS, IN COAT CLOSETS, LAUNDRY ROOMS AND LINEN CLOSETS TO BE VENTILATED WIRE SHELVING PROVIDED AND MOUNTED IN ACCORDANCE WITH CONFIGURATIONS. SEE DIAGRAMATIC SHELVING
- PROVIDE 2'-8" DEEP PLATFORM IN MECHANICAL CLOSET (3/4" PLYWOOD OVER 2x6 FRAMING @ 16" O.C.) WHERE WATER HEATER OCCURS.
- PROVIDE BLINDS/SHADES AT ALL APARTMENT FRENCH DOORS AND WINDOWS PER SPEC'S. OWNER TO APPROVE.
- ALL SHELVING IN PANTRY CLOSETS AND BUILT IN SHELVING TO BE 12" WIDE "CLUMESH" VENTILATED WIRE SHELVING SYSTEM. PANTRY CLOSETS TO HAVE 5 SHELVES. SEE DETAIL BELOW.
- CONTRACTOR TO VERIFY AND COORDINATE PLUMBING ROUGH-IN DIMENSIONS WITH PLUMBER.
- SEE FINISH SCHEDULES FOR ACTUAL FLOOR FINISH MATERIALS. FLOOR DEMARCATION LINES ON PLANS ARE FOR REFERENCE WHEN MATERIALS ARE TO DIFFER.
- FRAMING CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL CABINETS, CEILING FANS, AND BATH ACCESSORIES. INCLUDE BLOCKING FOR GRAB BARS AT ALL LOCATIONS
- VENT DRYERS TO OUTSIDE. SEE MECHANICAL DRAWINGS.
- ALL OUTLETS @ KITCHEN SINK & BATH LAVATORY COUNTER TO BE G.F.C.I.
- PROVIDE (1) SLB. ABC FIRE EXTINGUISHER UNDER KITCHEN SINK, TYP.
- MECHANICAL DUCTWORK TO BE SEPARATED FROM ELECTRICAL PANELS.
- SMOKE DETECTORS SHALL NOT BE PLACED IN FRONT OF EXHAUST GRILLS.
- CONTRACTOR TO COORDINATE RECESSED LIGHTING LOCATIONS WITH MECHANICAL DUCT LOCATIONS.
- INSPECT, REPAIR, AND PREPARE FLOORS AS REQUIRED TO PROVIDE A SATISFACTORY SUB-FLOOR FOR FLOOR FINISH MATERIALS. SATISFACTORY SUB-FLOOR IS DEFINED AS A SURFACE THAT IS FREE FROM CRACKS, HOLES, RIDGES, COATINGS, OR DEFECTS THAT WOULD PREVENT ADHESIVE BOND OR IMPAIR PERFORMANCE OR APPEARANCE OF FINISHED MATERIALS.
- SMOKE DETECTORS SHALL BE CONTINUOUSLY POWERED BY BUILDING ELECTRICAL SYSTEM AND INSTALLED IN ACCORDANCE W. NFPA 101, 7-6.29 AND NFPA 74 W/BATTERY BACK UP.
- QUICK RESPONSE SPRINKLER SYSTEM TO BE PROVIDED THROUGHOUT. EXACT DESIGN AND SPECIFICATIONS TO BE SUBMITTED BY CONTRACTOR TO ARCH. FOR SHOP DRAWING APPROVAL.
- REFERENCE BUILDING PLAN WITH ELEVATIONS TO COORDINATE WINDOW LOCATION. PARTICULAR CONDITIONS MAY EXIST. NOTIFY ARCHITECT WITH QUESTIONS PRIOR TO CONSTRUCTION.
- REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL LOCATIONS.
- CONTRACTOR TO COORDINATE WITH CABINET MANUFACTURER FOR EXACT LOCATIONS OF KITCHEN EQUIPMENT AND FIXTURES. CONTRACTOR TO REVIEW PLUMBING, ELECTRICAL, AND FINISH LOCATIONS WITH CABINET DESIGN.
- CONTRACTOR TO PROVIDE STENCIL LABELING ON ALL FIRE RATED WALLS (TYP. ALL WALLS).
- KITCHEN COUNTER TOPS ARE NOT TO EXCEED 25 1/2" IN DEPTH.
- COUNTERTOP MATERIAL: ISLANDS - 3CM GRANITE / QUARTZ; BATHTUB - 2CM GRANITE / QUARTZ; COUNTERTOP WITH 4" GRANITE / QUARTZ BACKSPLASH 1 OR FULL HEIGHT TILE BACKSPLASH PER INTERIOR DRAWINGS AND FINISH SCHEDULE
- TELECOM INFO:  
28. COMCAST FIBER LINES TO BE HARD WIRED  
29. CAT 6 ROJ LINES IN UNITS  
30. ETHERNET IN AMENITY SPACES

### NO. OF UNITS PER BUILDING:

- BLDG 1000 = 135 Units
- BLDG 2000 = 65 Units
- BLDG 3000 = 15 Units
- BLDG 4000 = 60 Units

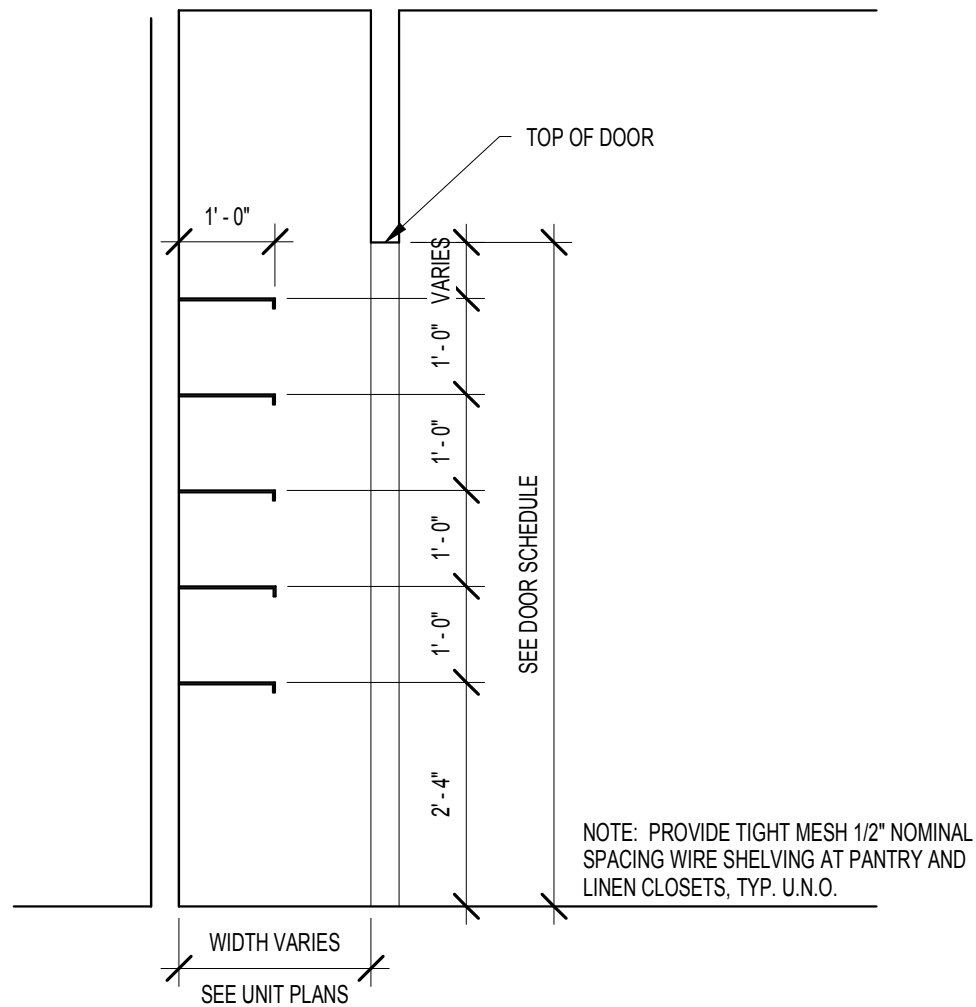
HC UNITS ARE AS FOLLOWS. EACH HC UNIT HAS A TUB THAT IS ADAPTABLE FOR A ROLL-IN SHOWER.

- A2-HC (1)
- A5-HC (1)
- B2-HC (3)
- C1-HC (1)



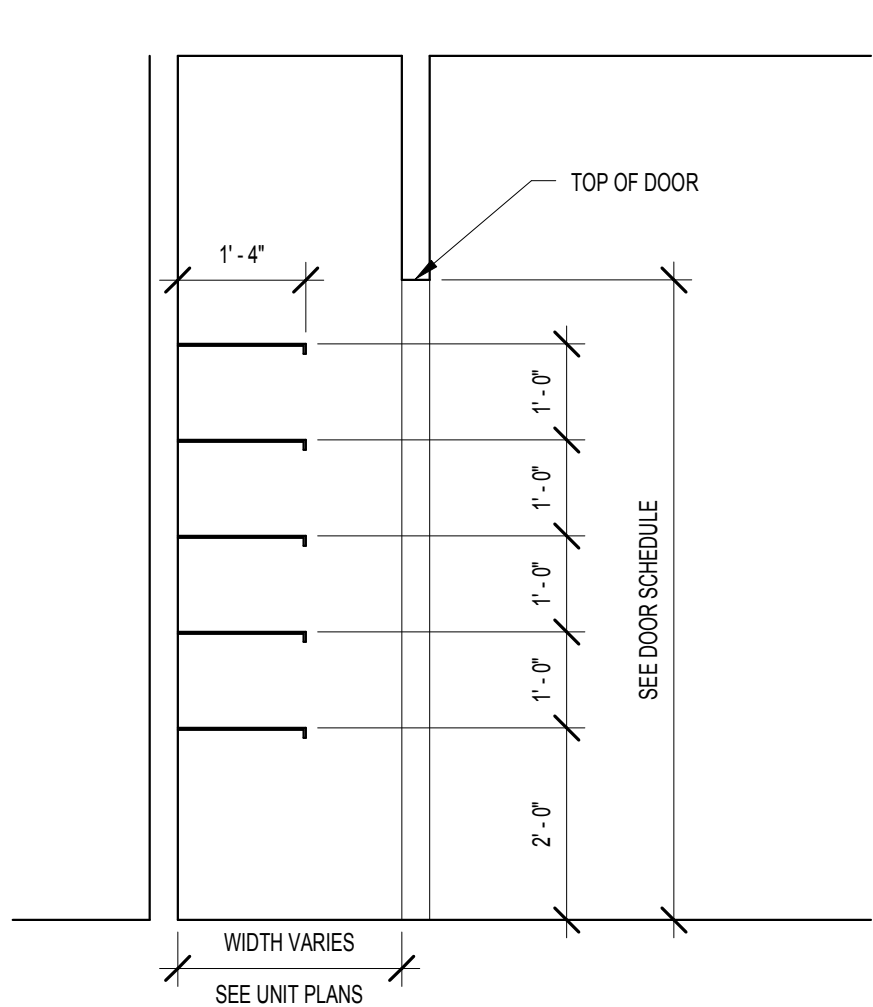
8 G - TYPICAL WASHER & DRYER SHELVES

SCALE: 1/2" = 1'-0"



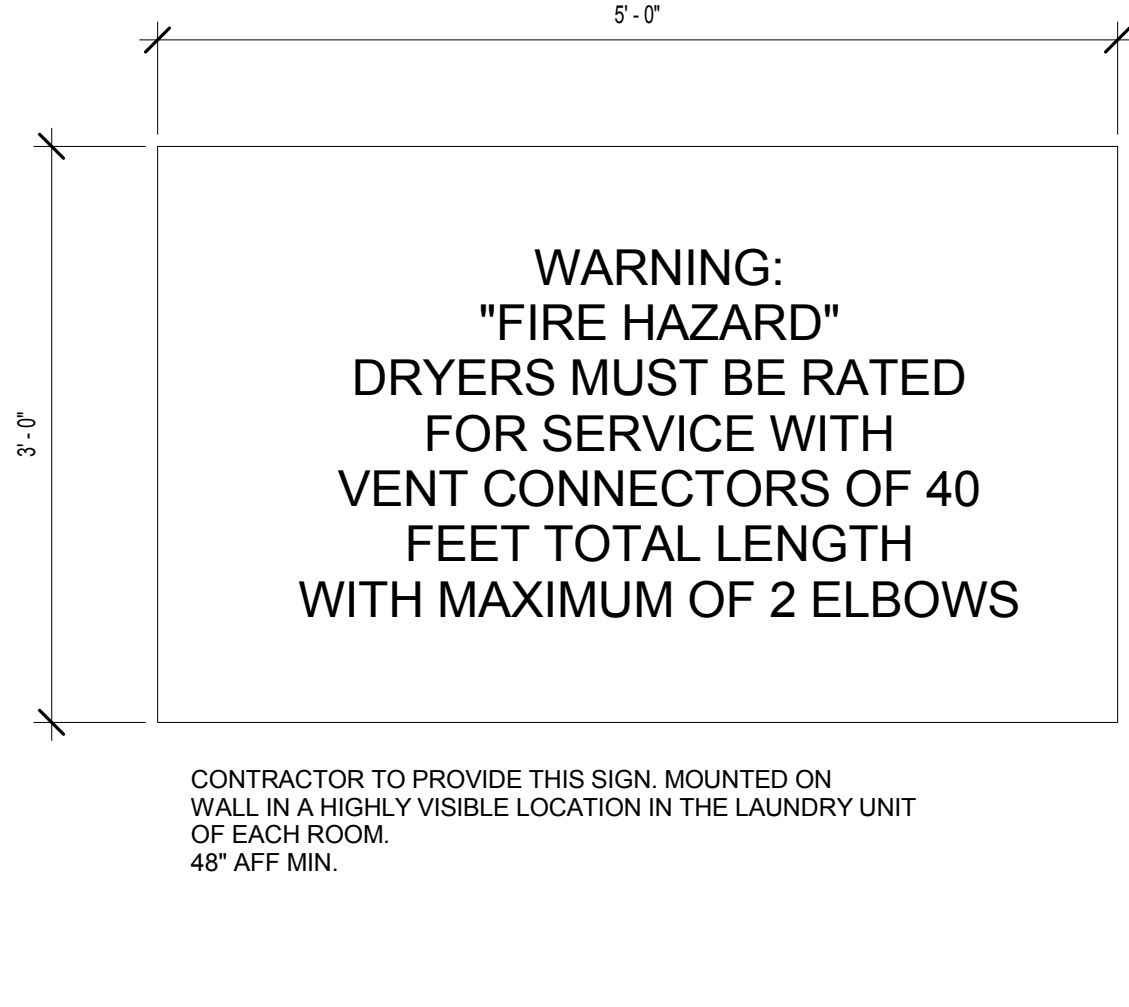
F - LINEN TYPICAL ALL UNITS

SCALE: 1/2" = 1'-0"



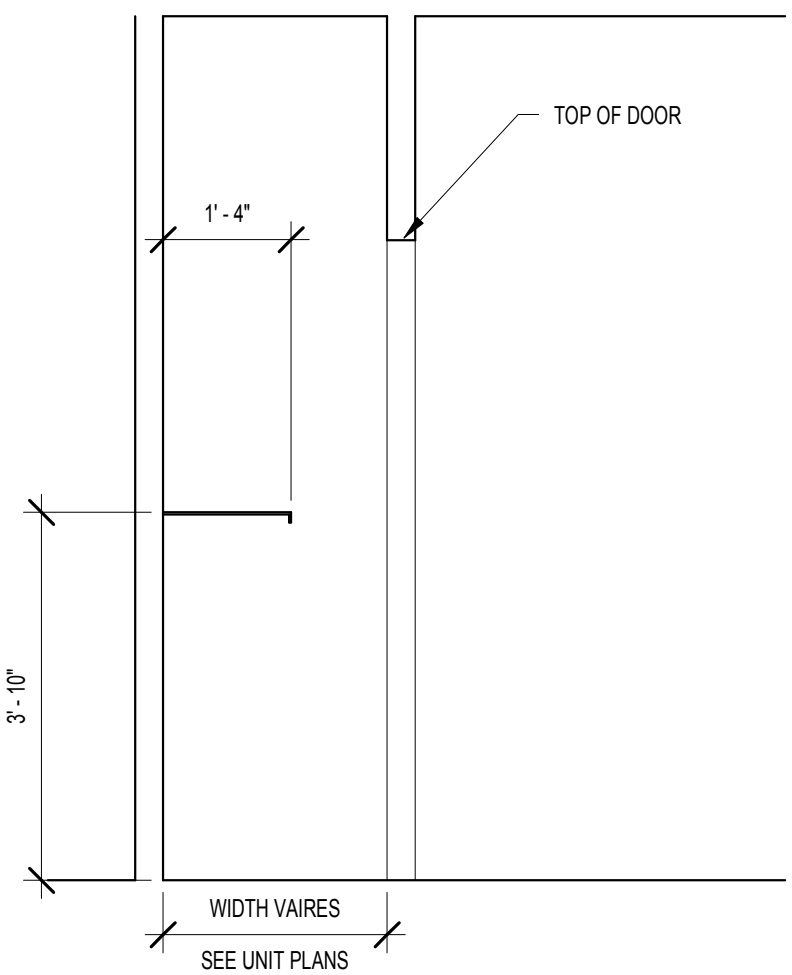
E - PANTRY TYPICAL ALL UNITS

SCALE: 1/2" = 1'-0"



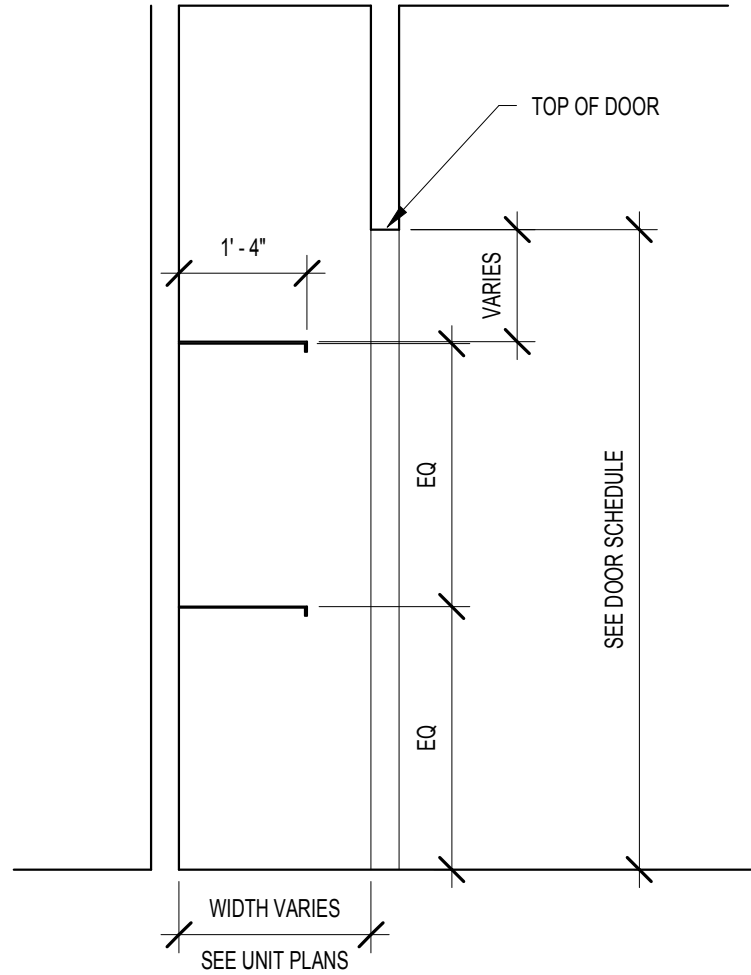
2 DRYER SIGN

SCALE: 1" = 1'-0"



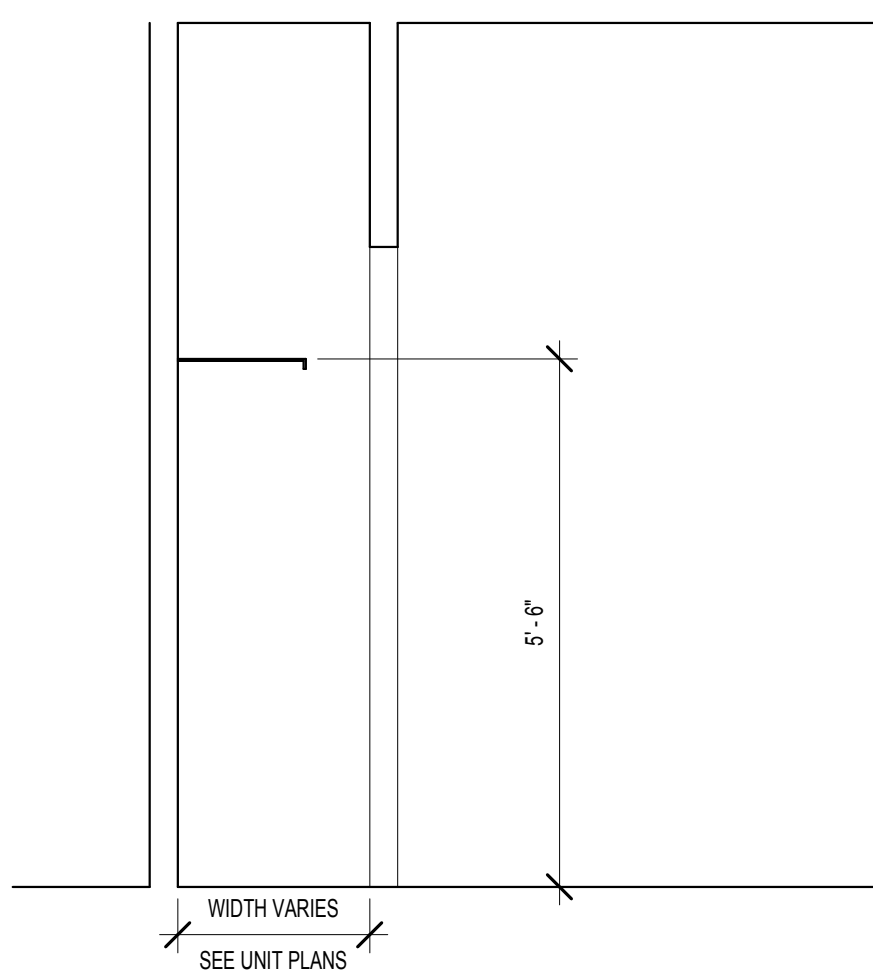
7 D - TYPICAL HC ROD & SHELF CLOSET

SCALE: 1/2" = 1'-0"



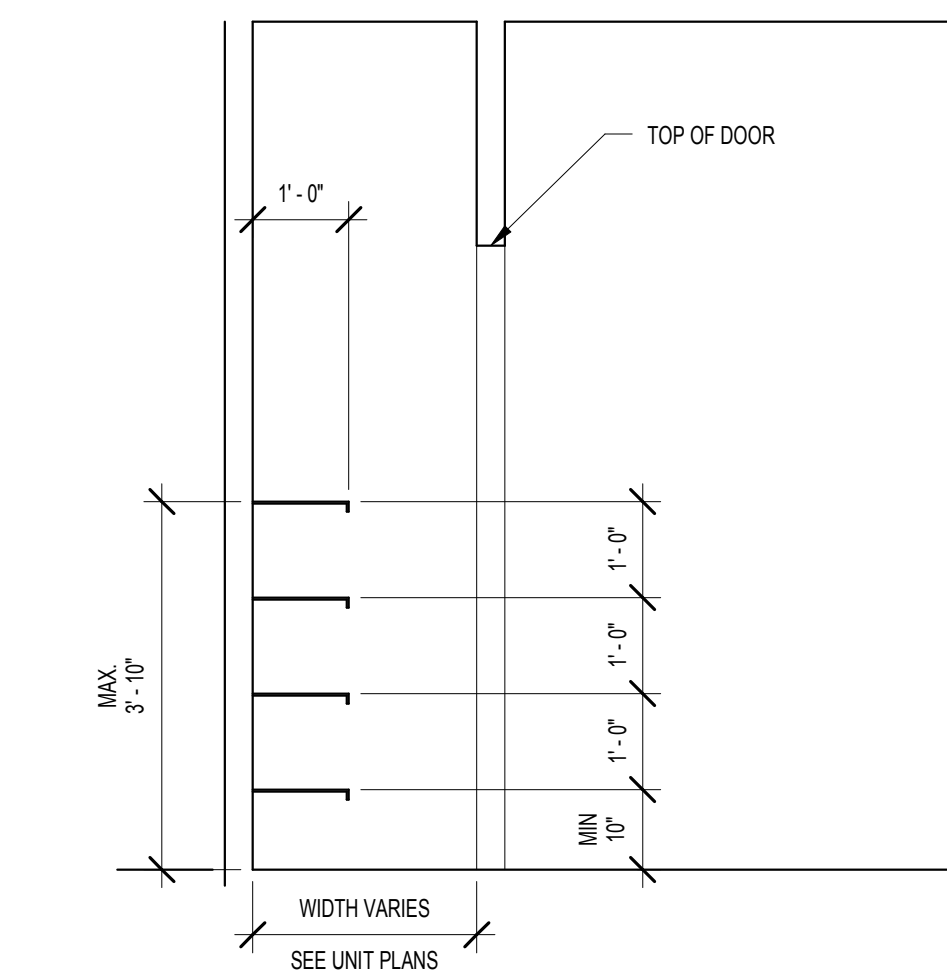
5 C - TYPICAL 2 ROD & SHELF

SCALE: 1/2" = 1'-0"



3 B - TYPICAL ROD & SHELF

SCALE: 1/2" = 1'-0"



1 A - TYPICAL HC SHELVES

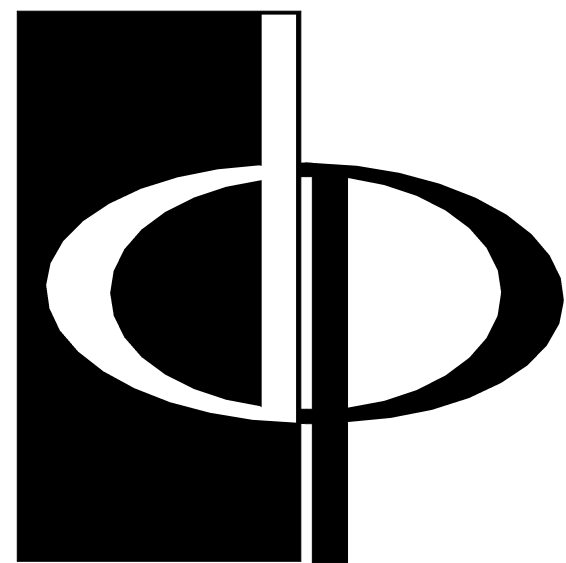
SCALE: 1/2" = 1'-0"

## UNIT ELEVATION NOTES

- INTERIOR ELEVATIONS ARE DRAWN TO FACE OF INTERIOR FINISH, UNLESS OTHERWISE NOTED.
- BATHROOM ACCESSORIES ARE TO BE MOUNTED AT THE FOLLOWING HEIGHTS:
  - PROVIDE TOILET PAPER HOLDER ON WALL ADJACENT TO WATER CLOSET, TYPICAL (24" AFF TO CENTER)
  - PROVIDE 24" TOWEL BAR, TYPICAL (4'-0" AFF TO TOP).
  - PROVIDE CERAMIC TOWEL BAR OPPOSITE WET WALL AT BATHTUB. IN 6" TILE SURROUND. LOCATE TOWEL BAR AT TOP OF 8TH TILE BOTTOM OF 9TH TILE FROM BOTTOM.
  - INSTALL CORNER SOAP DISH. TYPICAL INSTALLATION LOCATION AT THE CORNER BETWEEN CONTROL AND SIDE WALL. REFER TO INTERIOR RESIDENTIAL UNIT ELEVATIONS FOR ADDITIONAL INFORMATION.
  - SHOWER HEAD SHALL BE MOUNTED AT 6'-6" AFF. VERIFY.
  - SHOWER CURTAIN ROD TO BE AT 6'-6" AFF TO CENTER.
  - TILE TUB SURROUND SHALL EXTEND 5'-0" ABOVE RIM OF BATHTUB (6'-8" AFF)
- WALL MOUNTED LIGHT FIXTURES SHALL BE LOCATED PER ARCHITECT.

## INTERIOR ENVIRONMENT AND BUILDING ENVELOPE NOTES

- ALL EXTERIOR DOORS TO BE SOLID WOOD OR INSULATED FOAM CORE.
- ALL APARTMENT WINDOWS TO BE DOUBLE GLAZED. THERMAL BREAKS ARE RECOMMENDED.
- SEAL AND WEATHER STRIP ALL EXTERIOR DOORS & WINDOWS.
- WEATHER STRIP ALL ATTIC ACCESSES IN CONDITIONED AREAS.
- SEAL PLUMBING & WIRING PENETRATIONS IN ENVELOPE.
- CAULK SOLE PLATES, (ON SILL SEALER, TYP.)
- WEATHER STRIP INTERIOR DOOR OPENINGS INTO UNHEATED SPACE.
- SEAL ALL OTHER OPENINGS IN BUILDING ENVELOPE.
- INSULATION
  - R-30 FLAT CEILINGS
  - R-19 ROOF/CEILING COMBINATION
  - R-13 WALLS
  - R-11 / 19 FLOORS OVER CRAWL SPACE, GARAGE, OR OPEN AREAS
  - R-5 STRUCTURAL MASONRY FLOORS OVER OPEN AREAS (HIGH-RISE CONSTRUCTION)
- HVAC
  - ELECTRIC HEAT PUMP
  - 13.0 SEER MINIMUM (7.7 HSPF)
  - ARI RATINGS DETERMINES SEER
  - WHERE ACCESSIBLE, SEAL ALL JOINTS AT AIR HANDLER AND FLEX COLLAR WITH MASTIC STRAP INNER LINER AND TAPE OR MASTIC STRAP OUTER LINER
  - TAPE ALL REMOVABLE PARTS ON OR AROUND AIR HANDLER WITH U.L. 181 TAPE



**THE PRESTON PARTNERSHIP, LLC**  
A MULTI-DISCIPLINARY DESIGN FIRM

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CONSULTANT

SEAL



PROJECT

**RESERVE AT THE BALLPARK, PHASE II, AKA REVEL AT THE BALLPARK**  
2885 CRESCENT PKWY  
SMYRNA, GA 30080

FOR



**ATLANTIC REALTY PARTNERS**

3438 PEACHTREE ROAD  
SUITE 1425  
ATLANTA, GA 30326

ISSUES & REVISIONS

CONCEPTUAL DESIGN	08/21/2015
SCHEMATIC DESIGN	09/28/2015
CM/DESIGN DEVELOPMENT	10/15/2015
CM/DESIGN DEVELOPMENT	04/03/2017
PERMIT SET	05/22/2017
BUILDING PERMIT	07/25/2017

DATE

05/22/2017

JOB NUMBER

1493101

DRAWN BY

EKS/NB

CHECKED BY

CW

SHEET TITLE

UNIT NOTES

SHEET NUMBER

A3-00

COMMENTS

BUILDING PERMIT RE-SUBMISSION

30X42

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