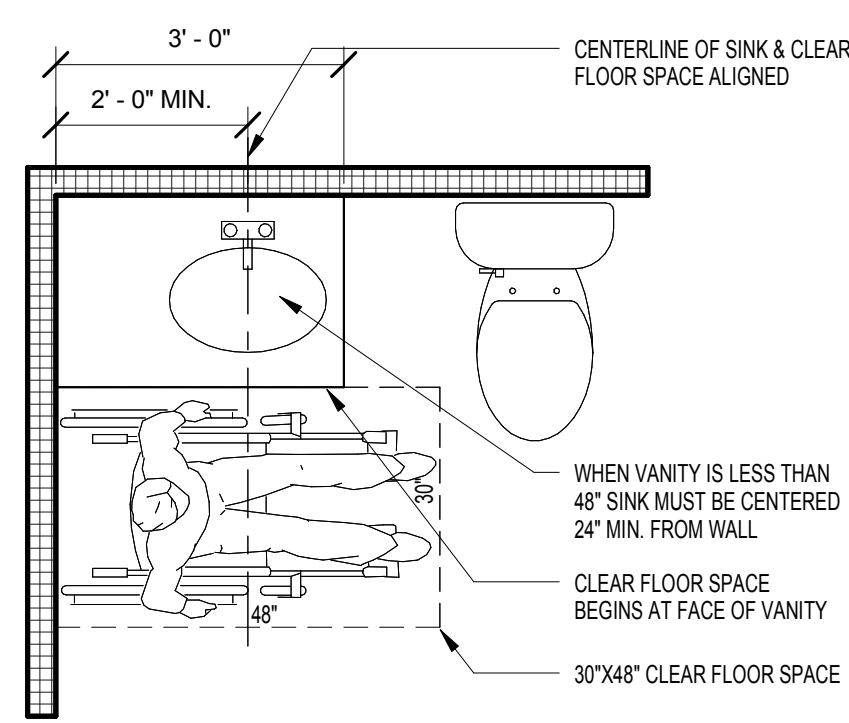
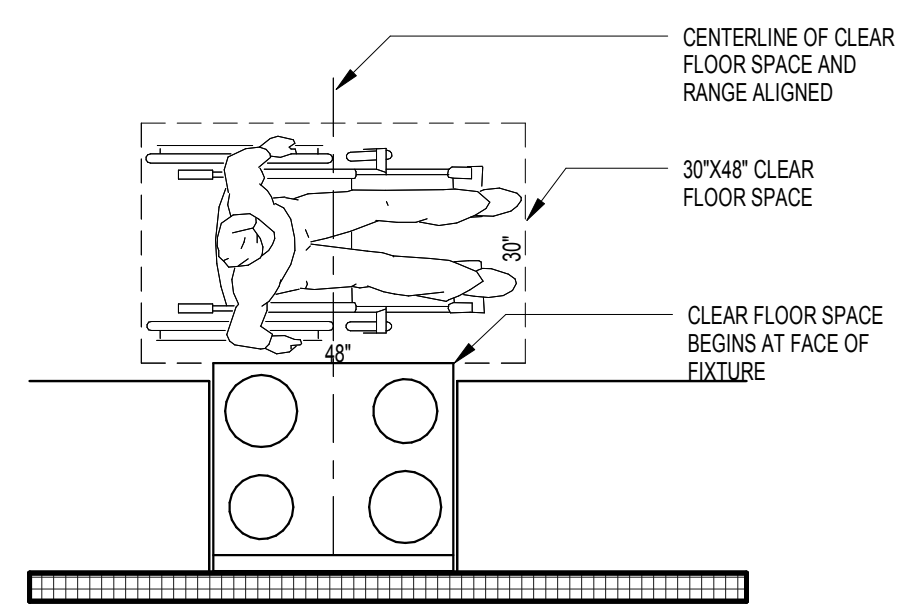
**18** CLEAR SPACE AT LAVATORY

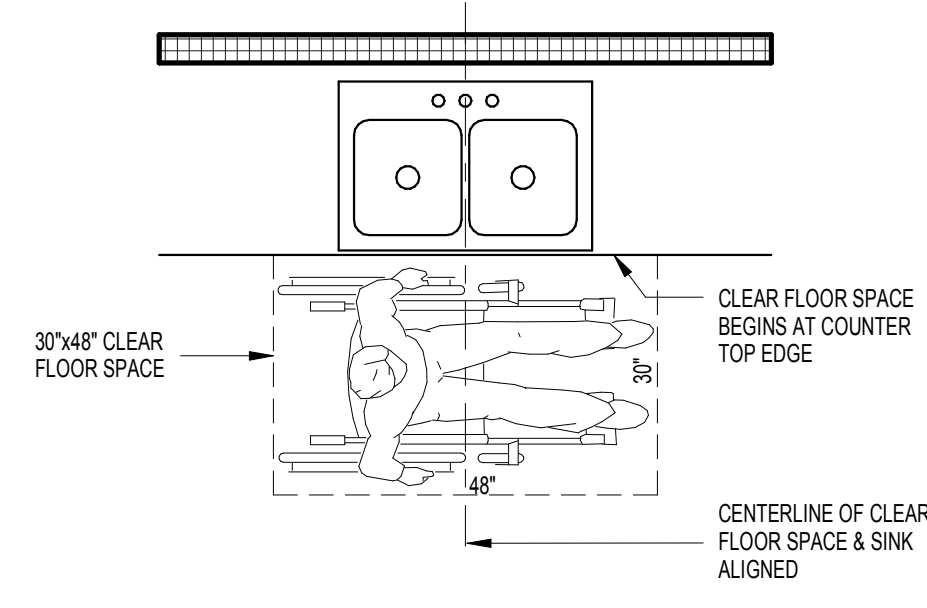
SCALE: 1/2" = 1'-0"

**14** CLEAR SPACE AT LAVATORY

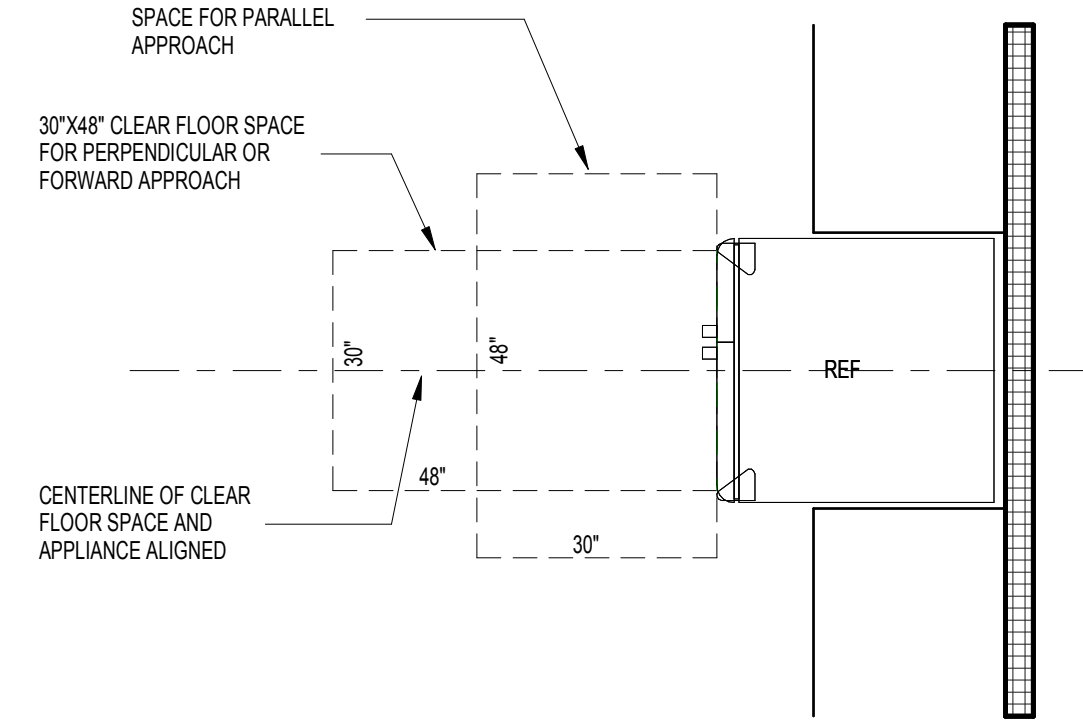
SCALE: 1/2" = 1'-0"

**10** CLEAR SPACE AT RANGE

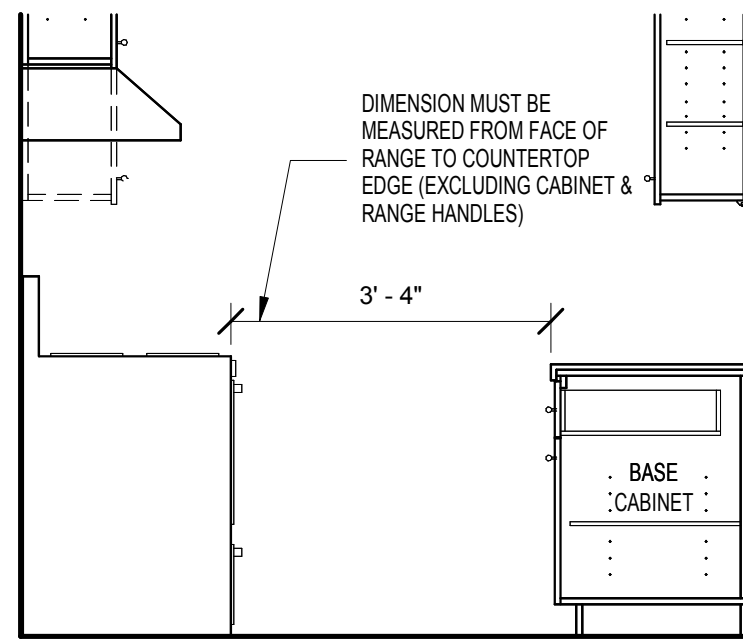
SCALE: 1/2" = 1'-0"

**7** CLEAR SPACE AT SINK

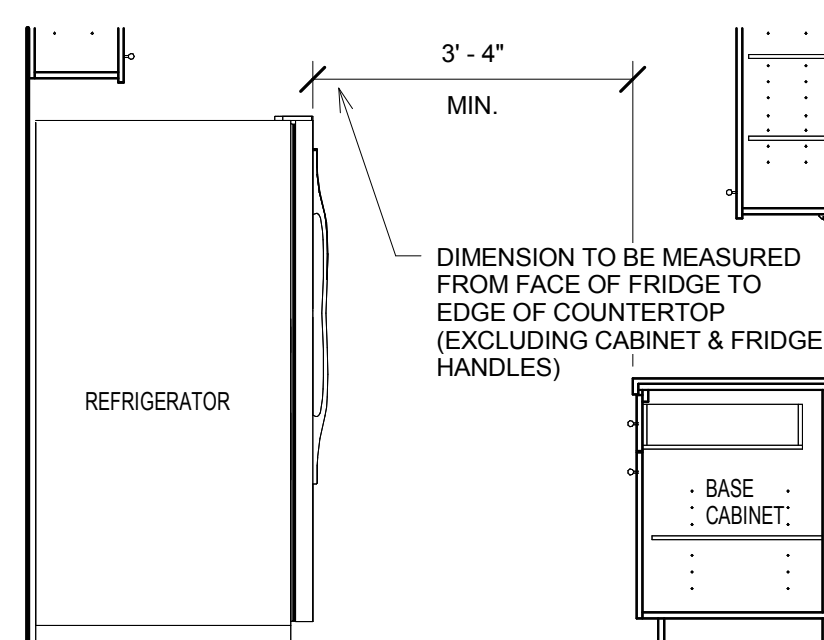
SCALE: 1/2" = 1'-0"

**3** CLEAR SPACE AT REFRIGERATOR

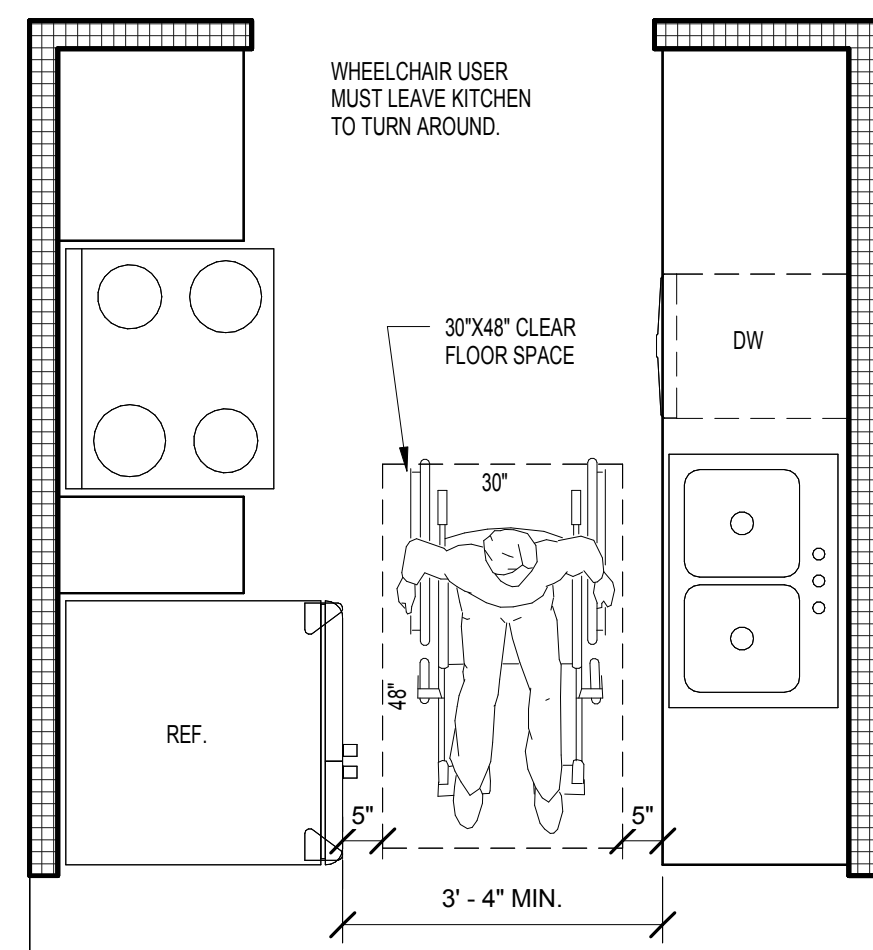
SCALE: 1/2" = 1'-0"

**17** MIN. CLEAR WIDTH AT RANGE

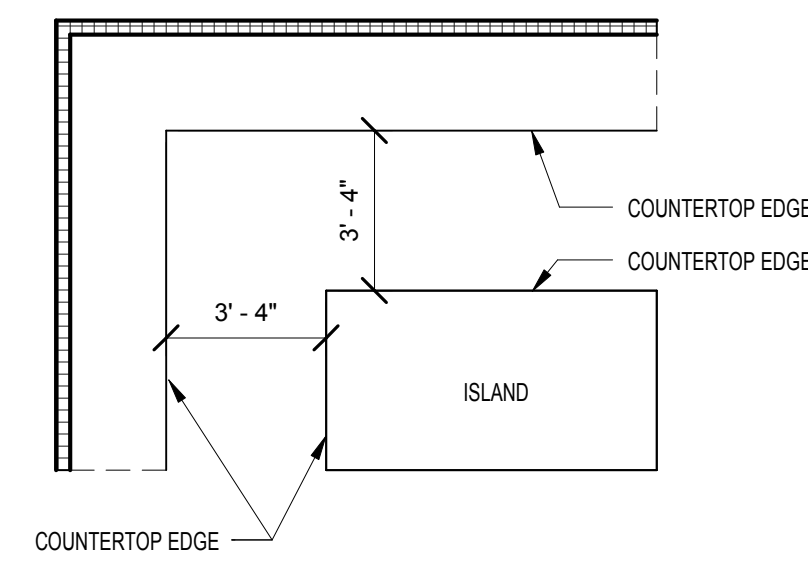
SCALE: 1/2" = 1'-0"

**13** MIN. CLEAR WIDTH AT REFRIDGERATOR

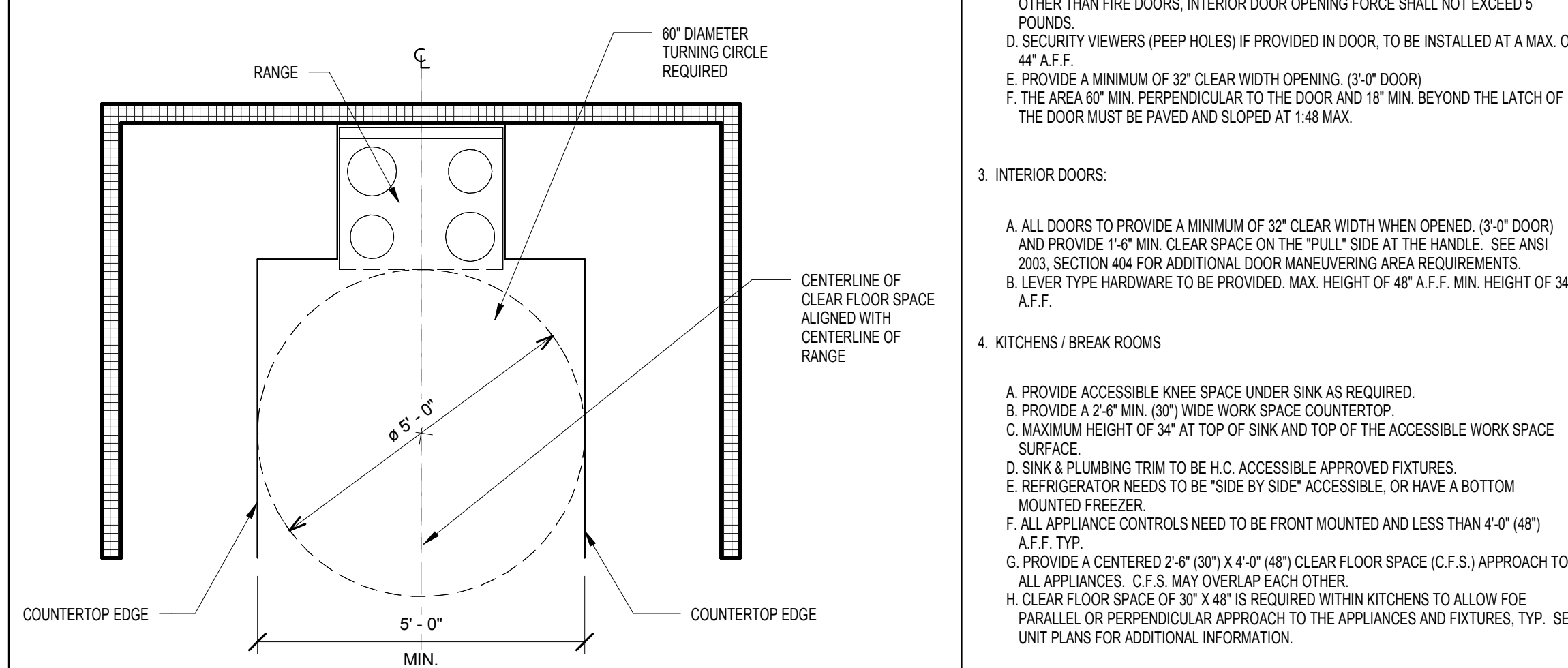
SCALE: 1/2" = 1'-0"

**9** MIN. KITCHEN WIDTH

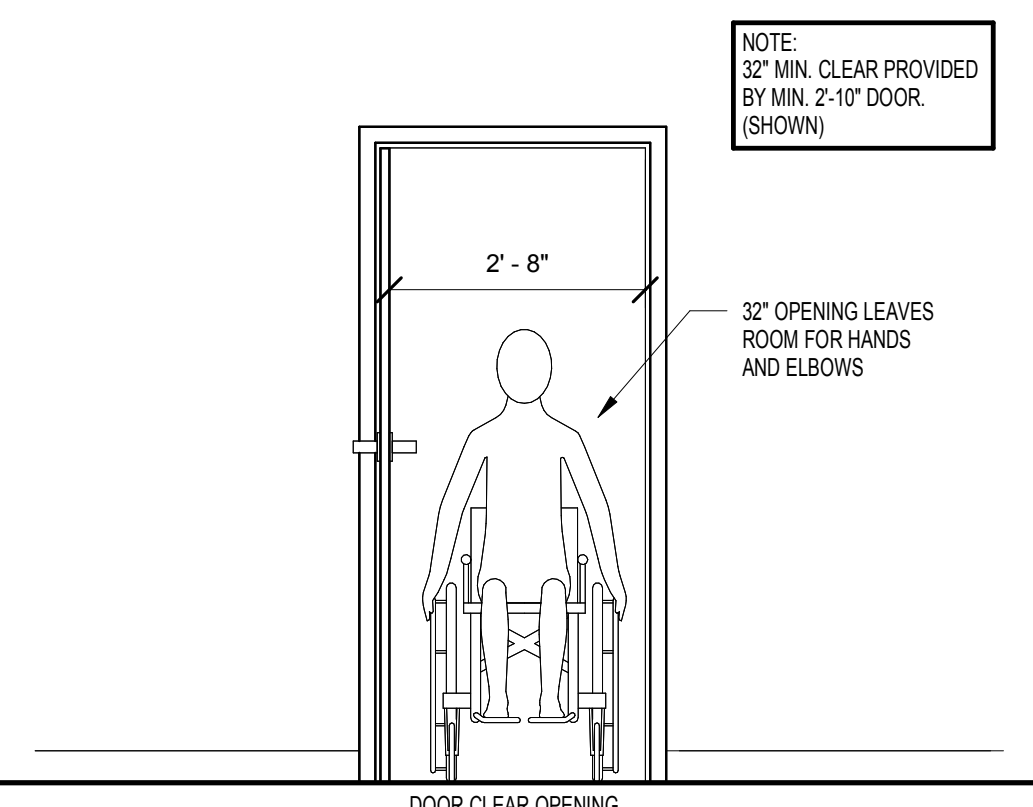
SCALE: 1/2" = 1'-0"

**6** MINIMUM ISLAND CLEARANCE

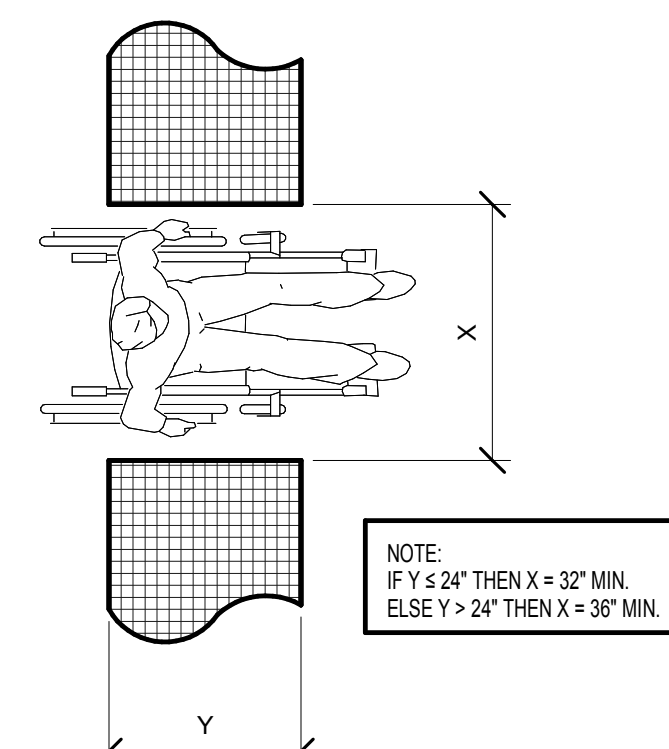
SCALE: 1/4" = 1'-0"

**2** U SHAPED KITCHEN MINIMUM CLEARANCE

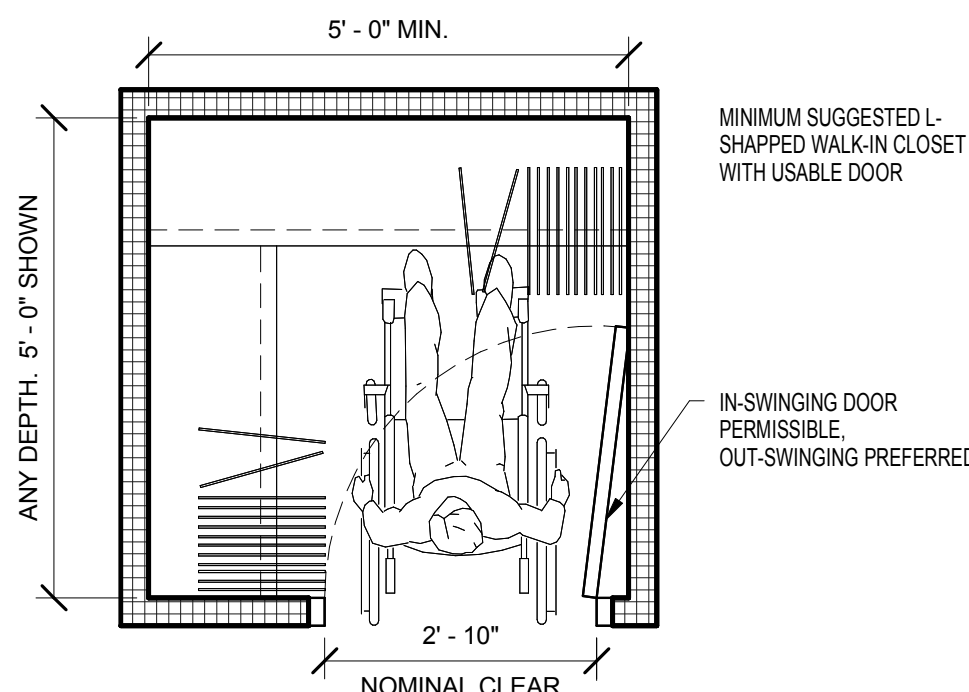
SCALE: 1/2" = 1'-0"

**16** PASSAGE DOORWAY MINIMUM CLEAR OPENING

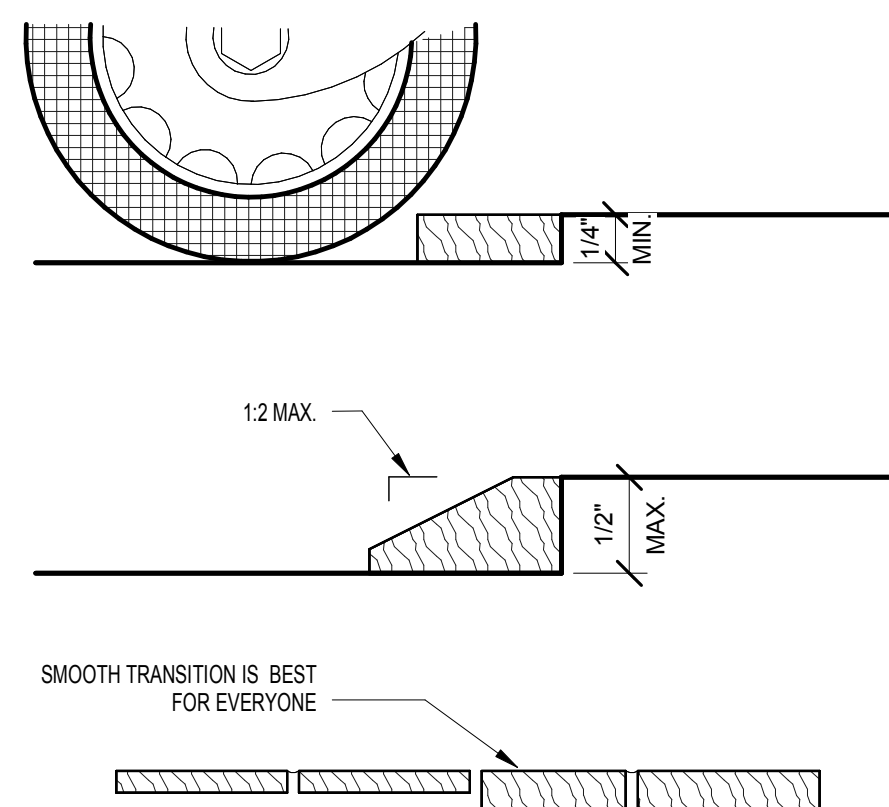
SCALE: 1/2" = 1'-0"

**12** DOORWAY DEPTH

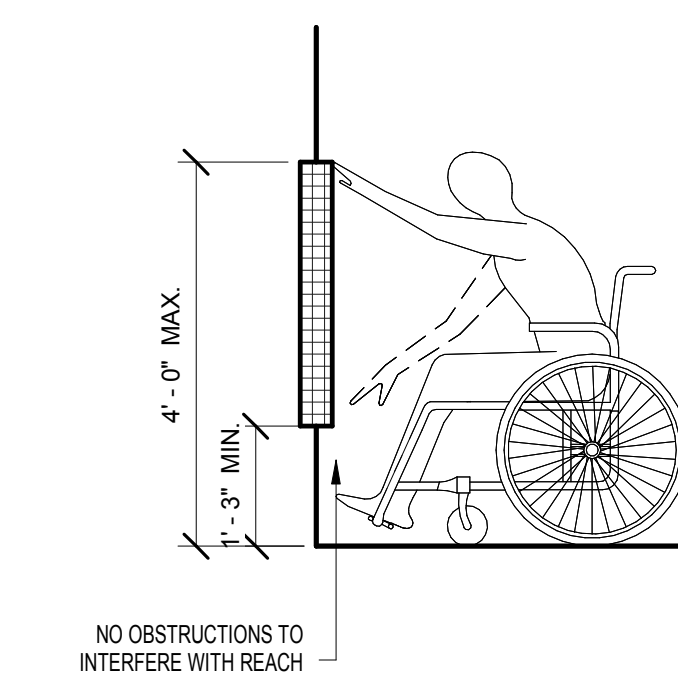
SCALE: 1/2" = 1'-0"

**8** WALK IN CLOSET MINIMUM CLEARANCE

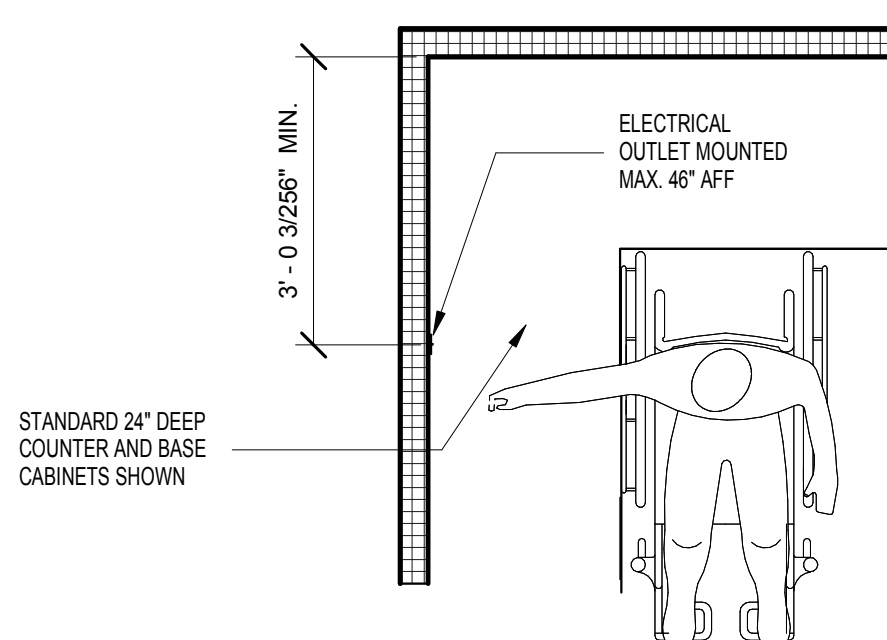
SCALE: 1/2" = 1'-0"

**5** CHANGE IN FLOOR LEVEL

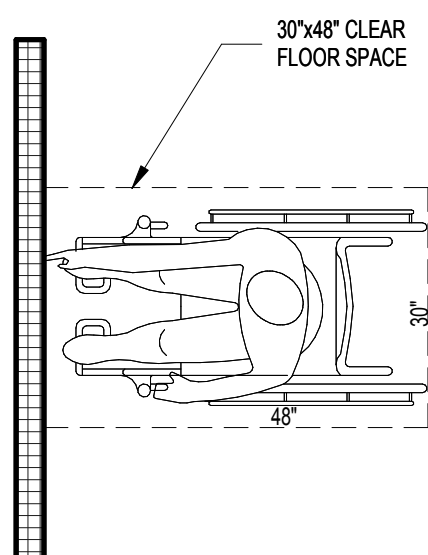
SCALE: 1/2" = 1'-0"

**1** FORWARD REACH RANGE

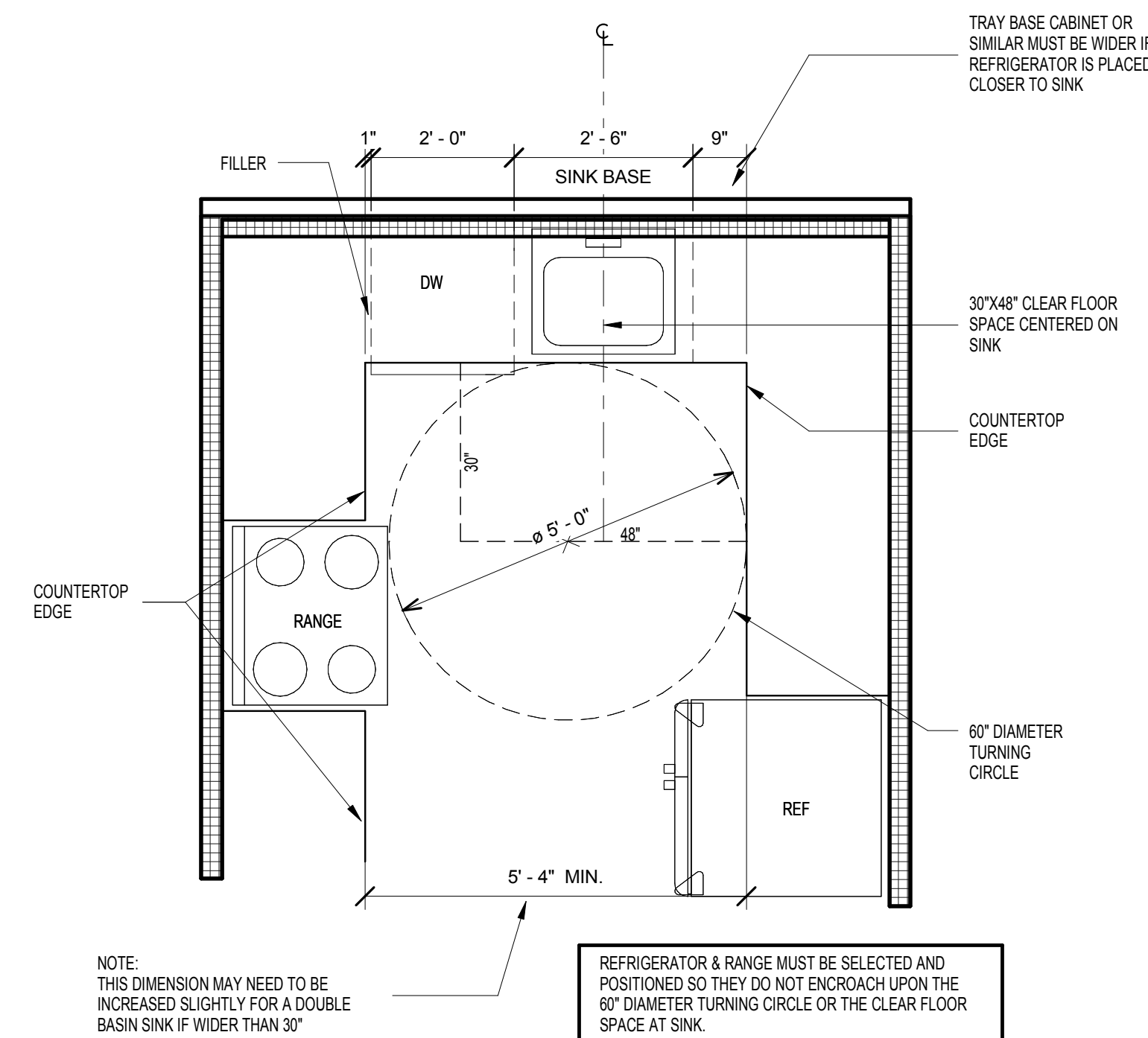
SCALE: 1/2" = 1'-0"

**15** ELECTRICAL OUTLET LOCATIONS AT COUNTERS

SCALE: 1/2" = 1'-0"

**11** FORWARD REACH

SCALE: 1/2" = 1'-0"

**4** U SHAPED KITCHEN REQUIRED CLEARANCES

SCALE: 1/2" = 1'-0"

GENERAL NOTES:

PROJECT SHALL COMPLY WITH THE THE FAIR HOUSING ACT DESIGN MANUAL FOR NEW CONSTRUCTION OF UNITS.

*NOTE: ALL DIMENSIONS ARE FROM FINISHED DRYWALL, ADJACENT FIXTURE OR EDGE OF COUNTERTOP UNLESS NOTED OTHERWISE.

I. SITE:

1. ACCESSIBLE SITE & EXTERIOR FACILITIES:
- A. ACCESSIBLE ROUTES TO BE PROVIDED THROUGHOUT THE SITE TO ALL BUILDINGS.
- B. ACCESSIBLE PARKING SPACES, LOADING ZONES AND CURB RAMPS TO BE PROVIDED. REFER TO CIVIL & LANDSCAPE PLANS FOR ALL ACCESSIBLE ROUTES TO ALL BUILDINGS AND AMENITIES.

II. COMMON USE FACILITIES:

1. ACCESSIBLE STRUCTURES:
 - A. BUILDINGS, MAIL ROOMS, EXERCISE / LAUNDRY FACILITIES, COMPACTORS, ETC., PUBLIC AND COMMON USE SPACES MUST BE READILY ACCESSIBLE TO AND USABLE BY PEOPLE WITH DISABILITIES PER FEDERAL, STATE, AND LOCAL MUNICIPAL REGULATIONS AND THE FAIR HOUSING DESIGN MANUAL USED WITH ANSI A117.1-ANSI 2003 STANDARDS FOR COMMON AREAS.
 - B. BUILDINGS, MAIL ROOMS, EXERCISE / LAUNDRY FACILITIES, COMPACTORS, ETC., PUBLIC AND COMMON USE SPACES MUST BE READILY ACCESSIBLE TO AND USABLE BY PEOPLE WITH DISABILITIES PER FEDERAL, STATE, AND LOCAL MUNICIPAL REGULATIONS AND THE FAIR HOUSING DESIGN MANUAL USED WITH 2010 ADA FOR PUBLIC AREAS.

2. EXTERIOR DOORS:

- A. PROVIDE 1/2" MAX. LOW PROFILE THRESHOLD. THRESHOLDS ABOVE 1/4" MUST BE BEVELED NO GREATER THAN 1:2.
- B. LEVER TYPE HARDWARE WITH DEAD-BOLT LOOKS TO BE PROVIDED. MIN. HEIGHT OF 34" MAX. HEIGHT OF 48" A.F.F.
- C. DOOR CLOSURE MUST ALLOW FOR "LOW FORCE" TO BE APPLIED IN ORDER TO OPEN. OTHER THAN FIRE DOORS, INTERIOR DOOR OPENING FORCE SHALL NOT EXCEED 5 POUNDS.
- D. SECURITY VIEWERS (PEEP HOLES) IF PROVIDED IN DOOR, TO BE INSTALLED AT A MAX. OF 44" A.F.F.
- E. PROVIDE A MINIMUM OF 32" CLEAR WIDTH OPENING. (3'-0" DOOR)
- F. THE AREA 60" MIN. PERPENDICULAR TO THE DOOR AND 18" MIN. BEYOND THE LATCH OF THE DOOR MUST BE PAVED AND SLOPED AT 1:48 MAX.

3. INTERIOR DOORS:

- A. ALL DOORS TO PROVIDE A MINIMUM OF 32" CLEAR WIDTH WHEN OPENED. (3'-0" DOOR) AND PROVIDE 1'-6" MIN. CLEAR SPACE ON THE "PULL" SIDE AT THE HANDLE. SEE ANSI 2003, SECTION 404 FOR ADDITIONAL DOOR MANEUVERING AREA REQUIREMENTS.
- B. LEVER TYPE HARDWARE TO BE PROVIDED. MAX. HEIGHT 48" A.F.F. MIN. HEIGHT OF 34" A.F.F.

4. KITCHENS / BREAK ROOMS

- A. PROVIDE ACCESSIBLE KNEE SPACE UNDER SINK AS REQUIRED.
- B. PROVIDE A 2'-6" MIN. (30") WIDE WORK SPACE, COUNTERTOP.
- C. MAXIMUM HEIGHT OF 34" AT TOP OF SINK AND TOP OF THE ACCESSIBLE WORK SPACE SURFACE.
- D. SINK & PLUMBING TRIM TO BE H.C. ACCESSIBLE APPROVED FIXTURES.
- E. REFRIGERATOR NEEDS TO BE "SIDE BY SIDE" ACCESSIBLE OR HAVE A BOTTOM MOUNTED FREEZER.
- F. ALL APPLIANCE CONTROLS NEED TO BE FRONT MOUNTED AND LESS THAN 4'-0" (48") A.F.F. TYP.
- G. PROVIDE A CENTERED 2'-0" (30") X 4'-0" (48") CLEAR FLOOR SPACE (C.F.S.) APPROACH TO ALL APPLIANCES. C.F.S. MAY OVERLAP EACH OTHER.
- H. CLEAR FLOOR SPACE OF 30" X 48" IS REQUIRED WITHIN KITCHENS TO ALLOW FOR PARALLEL OR PERPENDICULAR APPROACH TO THE APPLIANCES AND FIXTURES, TYP. SEE UNIT PLANS FOR ADDITIONAL INFORMATION.

5. RESTROOMS:

- A. PROVIDE ACCESSIBLE KNEE SPACE UNDER SINK AS REQUIRED.
- B. ACCESSIBLE LAVATORY HEIGHT TO BE 34" MAXIMUM A.F.F. MEASURED TO THE HIGHER OF THE RIM OR COUNTERTOP SURFACE.
- C. INSTALL GRAB BARS AT H.C. ACCESSIBLE TOILET STALLS AS REQUIRED.
- D. TOILET ACCESSORIES TO MEET ALL H.C. ACCESSIBLE REACH RANGES, AND BE APPROVED H.C. FIXTURES.
- E. ALL PLUMBING FIXTURES & TRIM UTILIZED IN H.C. ACCESSIBLE STALLS AND LAVATORIES SHOULD BE H.C. APPROVED FIXTURE TYPES.
- F. PROVIDE A 60" DIAMETER CLEAR FLOOR SPACE TURNING RADIUS WITHIN ROOM EXCLUSIVE OF DOOR SWING.
- G. ROLL-IN SHOWER TYPES TO PROVIDE CLEAR FLOOR SPACE, GRAB BARS AND ACCESSIBLE SEAT. SEE DETAILS.
- H. WALL DIMENSIONS AND FIXTURE LOCATIONS MUST BE HELD SO THAT THE MINIMUM CLEARANCES ARE PROVIDED AS SHOWN.
- I. PROVIDE 2x MEMBER SIZE REQUIRED WOOD BLOCKING IN LINE OF STUD PLANE FOR WALLS NOTED AS REQUIRING REINFORCING FOR ALL GRAB BARS. SEE DETAILS.
- J. LAVATORIES ARE TO BE INSTALLED WITH THE CENTERLINE OF THE FIXTURE A MINIMUM OF 1'-8" HORIZONTALLY FROM FINISHED SURFACE OF AN ADJOINING WALL OR FIXTURE.
- K. ACCESSIBLE URINALS IN COMMON USE BUILDINGS, UP TO BE SET AT 17" MAX. A.F.F.

6. FLOOR FINISHES:

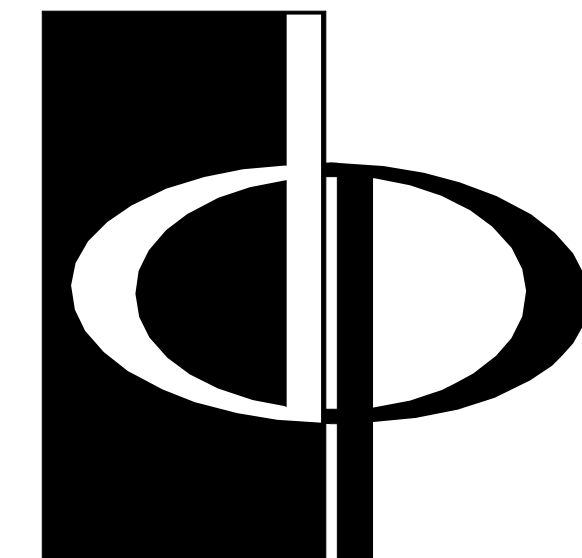
- A. PROVIDE "NON-SLIP" ABRASIVE SURFACE THROUGHOUT BUILDINGS ALONG ALL ACCESSIBLE ROUTES.
- B. FLOOR TRANSITIONS BETWEEN DIFFERENT MATERIALS NEED TO BE FL OR MEET THE 1/2" MAX. THRESHOLD REQUIREMENTS.

7. ELECTRICAL / ENVIRONMENTAL CONTROLS:

- A. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS ITEMS MUST BE POSITIONED SO THAT CONTROLS OR UPPER RECEPTACLE IN AN ACCESSIBLE OUTLET ARE LOCATED NOT HIGHER THAN 48" A.F.F. ELECTRICAL OUTLETS MOUNTED SO THAT THE MINIMUM HEIGHT IS 15" A.F.F. SWITCHES AND OUTLETS OVER COUNTERS THAT REQUIRE A FORWARD SIDE REACH SHALL BE MOUNTED TO COMPLY WITH THE REACH RANGES DESCRIBED IN 2003 ANSI, SECTION 308.
- B. PROVIDE AUDIBLE FIRE ALARMS & STROBE LIGHTS AS REQUIRED.

8. MISCELLANEOUS / OTHER:

- A. CORRIDORS TO HAVE A MINIMUM CLEAR WIDTH OF 4'-0" (48") AND A MIN. HEAD HEIGHT OF 8'-8" (80").
- B. UNOBTSTRUCTED PUBLIC PAY PHONES AND EMERGENCY PHONES TO BE MOUNTED AT 48" TO TOP OF PHONE, AND WITH H.C. REACH RANGES.



**THE PRESTON
PARTNERSHIP, LLC**
A MULTI-DISCIPLINARY DESIGN FIRM

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CONSULTANT

SEAL



PROJECT

**RESERVE AT THE
BALLPARK, PHASE II,
AKA REVEL AT THE
BALLPARK**
2885 CRESCENT PKWY
SMYRNA, GA 30080

FOR



**ATLANTIC REALTY
PARTNERS**

3438 PEACHTREE ROAD
SUITE 1425
ATLANTA, GA 30326

ISSUES & REVISIONS _____ DATE

ISSUES & REVISIONS	DATE
CONCEPTUAL DESIGN	08/21/2015
SCHEMATIC DESIGN	09/28/2015
CM/CD DESIGN DEVELOPMENT	10/15/2015
GMP	04/03/2017
PERMIT SET	05/22/2017
3. BUILDING PERMIT	07/25/2017

DATE **05/22/2017**JOB NUMBER **1493101**DRAWN BY **EKS**CHECKED BY **AMB**SHEET TITLE **FAIR HOUSING ACT GUIDELINES**

SHEET NUMBER

COMMENTS

BUILDING PERMIT RE-SUBMISSION

30X42

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CD-23