

**THE PRESTON PARTNERSHIP, LLC**  
A MULTI-DISCIPLINARY DESIGN FIRM

SOUTH TERRACES  
115 PERIMETER CENTER PLACE, SUITE 950  
ATLANTA, GEORGIA 30346  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

WWW.THEPRESTONPARTNERSHIP.COM  
CONSULTANT

SEAL



PROJECT  
**RESERVE AT THE BALLPARK, PHASE II,  
AKA REVEL AT THE BALLPARK**  
2885 CRESCENT PKWY  
SMYRNA, GA 30080

FOR



**ATLANTIC REALTY PARTNERS**

3438 PEACHTREE ROAD  
SUITE 1425  
ATLANTA, GA 30326

ISSUES & REVISIONS	DATE
CONCEPTUAL DESIGN	08/21/2015
PROGRESS SET	09/02/2015
SCHEMATIC DESIGN	09/28/2015
GMP/DESIGN DEVELOPMENT	10/15/2015
FOUNDATION PACKAGE	12/07/2015
GMP	04/03/2017
PERMIT SET	05/22/2017
1. FM COMMENTS	07/19/2017
3. BUILDING PERMIT	07/25/2017
5. BUILDING PERMIT	10/02/2017
COMMENTS / COORDINATION	

DATE **05/22/2017**

JOB NUMBER **1493101**

DRAWN BY **EKS/NB/CH**

CHECKED BY **CW**

SHEET TITLE **SITE PLAN**

SHEET NUMBER

**SP-01**

COMMENTS **BUILDING PERMIT RE-SUBMISSION**

30X42 © 2017 The Preston Partnership, LLC

# REVISION SUMMARY #1

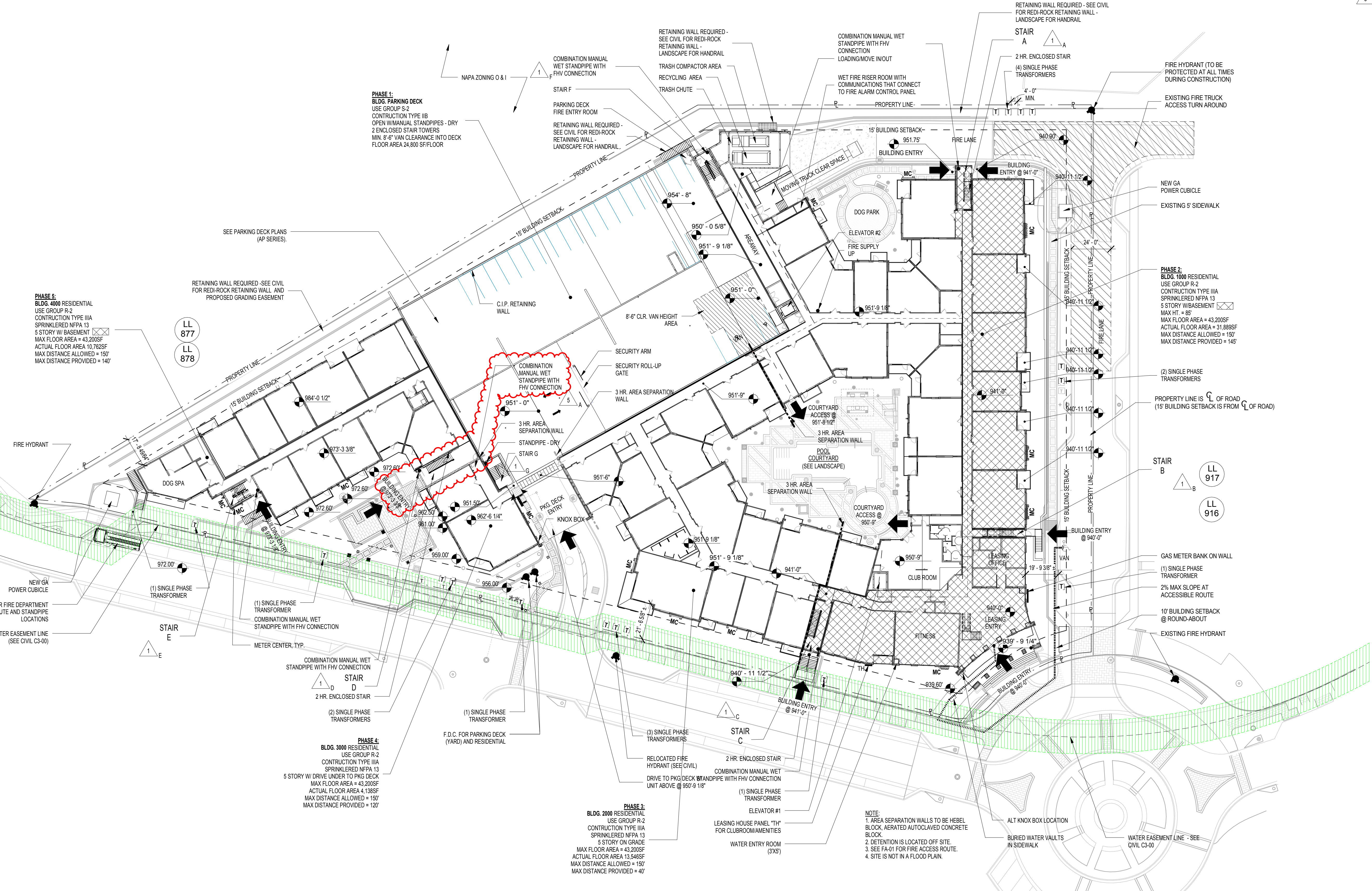
- A. CHANGED NAME OF STAIR 1 TO STAIR A
- B. CHANGED NAME OF STAIR 1A TO STAIR B
- C. CHANGED NAME OF STAIR 2 TO STAIR C
- D. CHANGED NAME OF STAIR 3 TO STAIR D
- E. CHANGED NAME OF STAIR 4 TO STAIR E
- F. CHANGED NAME OF STAIR P1 TO STAIR F
- G. CHANGED NAME OF STAIR P2 TO STAIR G

# REVISION SUMMARY #5

- A. MOVED FIRE WALL, ADDED STANDPIPE, AND MOVED BUILDING ENTRY

## SITE DEVELOPMENT DATA

GENERAL REQUIREMENTS			
ZONING DISTRICT CLASSIFICATION	22ND COUNCIL DISTRICT, SCR. MUL. PUD		
PROPOSED BUILDING USE	R-2, A-3 ASSEMBLY, P/C (PLANNED VILLAGE COMMUNITY DISTRICT)		
PERMITTED USE	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
ACCESSORY USE	<input type="checkbox"/> YES	<input type="checkbox"/> NO	
SPECIAL ZONING REQUIREMENTS	<input checked="" type="checkbox"/> YES (SEE REMARKS)	<input type="checkbox"/> NO	
RECORDED LOT NUMBER	LOT 916, 917, 876, 877, 17TH DISTRICT, PHASE II		
LOT FRONTAGE	MINIMUM	N/A	ACTUAL
LOT WIDTH	MINIMUM	N/A	ACTUAL
LOT AREA (NET)	MINIMUM	N/A	ACTUAL
GROSS LAND AREA (G.L.A.)	N/A		
RIGHT-OF-WAYS			
NORTH BOUNDARY (INSERT STREET NAME)	N/A	<input type="checkbox"/> NOT APPLICABLE	
SOUTH BOUNDARY (INSERT STREET NAME)	CRESCENT PARKWAY	<input type="checkbox"/> NOT APPLICABLE	
EAST BOUNDARY (INSERT STREET NAME)	T.B.D. - PRIVATE DRIVE	<input type="checkbox"/> NOT APPLICABLE	
WEST BOUNDARY (INSERT STREET NAME)	N/A	<input type="checkbox"/> NOT APPLICABLE	
PROPOSED BUILDING FOOTPRINT			
BUILDING LOT COVERAGE	PERMITTED	13.12	ACTUAL
FLOODPLAIN RESTRICTIONS	<input type="checkbox"/> YES (SEE REMARKS)	<input type="checkbox"/> NOT APPLICABLE	
PUBLIC SPACE REQUIREMENTS	<input type="checkbox"/> YES (SEE REMARKS)		
FENESTRATION	<input type="checkbox"/> YES (SEE REMARKS)		
LAND USE INTENSITY RATIO			
FLOOR AREA RATIO (F.A.R.) RESIDENTIAL	231	<input type="checkbox"/> NOT APPLICABLE	
FLOOR AREA RATIO (F.A.R.) NON-RESIDENTIAL		<input type="checkbox"/> NOT APPLICABLE	
TOTAL OPEN SPACE RATIO (T.O.S.R.)		<input type="checkbox"/> NOT APPLICABLE	
USABLE OPEN SPACE RATIO (U.O.S.R.)		<input type="checkbox"/> NOT APPLICABLE	
FLOOR AREA RATIO CALCULATIONS - NOT APPLICABLE			
RESIDENTIAL FLOOR AREA			
GROSS BUILDING AREA	85,135 S.F.		
LESS COMMON USE AREAS			
LESS COMMON USE AREAS			
LESS BUILDING SERVICE AREAS			
LESS STORAGE AREAS			
TOTAL			
FLOOR AREA RATIO PROVIDED (RESIDENTIAL FLOOR AREA G.L.A.)	231		
NON-RESIDENTIAL FLOOR AREA (COMMERCIAL SPACES)			
FLOOR AREA RATIO PROVIDED			
TOTAL OPEN SPACE - NOT APPLICABLE			
ELEMENTS OF TOTAL OPEN SPACE			
UNCOVERED (OPEN TO SKY ABOVE)			
RIGHT-OF-WAY	<input type="checkbox"/> NOT APPLICABLE		
PERMETER OF SITE	<input type="checkbox"/> NOT APPLICABLE		
INTERIOR COURTYARDS	<input type="checkbox"/> NOT APPLICABLE		
IMPROVED ROOF AREAS	<input type="checkbox"/> NOT APPLICABLE		
EXTERIOR BALCONIES	<input type="checkbox"/> NOT APPLICABLE		
COVERED (50% OPEN SHALL NOT EXCEED AREA OF OPEN SPACE)	<input type="checkbox"/> NOT APPLICABLE		
COVERED	<input type="checkbox"/> NOT APPLICABLE		
COVERED/IMPROVED ROOF AREAS	<input type="checkbox"/> NOT APPLICABLE		
TOTAL OPEN SPACE PROVIDED			
TOTAL OPEN SPACE REQUIRED (T.O.S.P. x G.L.A.)			
USABLE OPEN SPACE - NOT APPLICABLE			
ELEMENTS OF USABLE OPEN SPACE (OUTDOOR LIVING SPACE)			
LANDSCAPE RIGHT-OF-WAY	<input type="checkbox"/> NOT APPLICABLE		
GROUND LEVEL LANDSCAPE/HARDSCAPE AREAS	<input type="checkbox"/> NOT APPLICABLE		
INTERIOR COURTYARDS	<input type="checkbox"/> NOT APPLICABLE		
IMPROVED ROOF AREAS	<input type="checkbox"/> NOT APPLICABLE		
EXTERIOR BALCONIES	<input type="checkbox"/> NOT APPLICABLE		
TOTAL USABLE OPEN SPACE PROVIDED			
TOTAL USABLE OPEN SPACE REQUIRED (U.O.S.P. x G.L.A.)			
OFF STREET PARKING			
OWNER REQUESTED			
LEASING OFFICE/AMENITIES	STANDARD	SEE CIVIL	COMPACT
RESIDENT PARKING	STANDARD	8.5' X 19'	COMPACT
GUEST PARKING	STANDARD	INCL. INCL.	COMPACT
TOTAL OWNER REQUESTED PARKING	1.5 SPACES/SWELLING UNIT = 414		
ZONING REQUIREMENTS			
LEASING OFFICE/AMENITIES	STANDARD	SURFACE	COMPACT
RESIDENT PARKING	(@1.75 SPACES/U.)	STANDARD	483
GUEST PARKING	(SEE CIVIL)	STANDARD	N/A
TOTAL ZONING REQUIRED PARKING	20 + 483 (SURFACE + STRUCTURAL) = 483		
ACCESSIBLE PARKING			
MINIMUM REQUIRED ACCESSIBLE PARKING	2% OF TOTAL = 10 FOR 484 OR 9 FOR 414		
VAN ACCESSIBLE PARKING	1 PER 8HC SPACES		
TOTAL ACCESSIBLE PARKING	2% OF 414 + 9 H.C. SPACES TOTAL		
PARKING SPACES PROVIDED (REF. SITE PLAN - REVISED IN ZONING TO 1.5 SWELLING UNIT = 414)	STANDARD		
REGULAR PARKING IN GARAGE	STANDARD	386	1 GARAGE
"STANDARD" ACCESSIBLE PARKING	8 OF 9 TOTAL H.C. SPACES (IN GARAGE)		
VAN ACCESSIBLE PARKING	2 OF 9 TOTAL H.C. SPACES (IN GARAGE & SURFACE)		
TOTAL PROVIDED	8 TOTAL H.C. IN GARAGE + 1 SURFACE = 9 TOTAL		
SITE ACCESSIBILITY			
SEE CIVIL & LANDSCAPE PLANS			
ACCESSIBLE ROUTE (WITHIN THE BOUNDARY OF THE SITE TO AN ACCESSIBLE ENTRANCE) - YES TO ALL STRUCTURES			
CURB RAMPS			
STREET ACCESSIBLE PARKING	<input checked="" type="checkbox"/> PROVIDED	<input type="checkbox"/> N/A (SEE REMARKS)	
STREETS AND/OR DRIVEWAYS	<input checked="" type="checkbox"/> PROVIDED	<input type="checkbox"/> N/A (SEE REMARKS)	
MINIMUM WIDTH	<input checked="" type="checkbox"/> 38' W/60"60"	PASSING AREA	<input type="checkbox"/> 9'-0" CLEAR
SLOPE	<input checked="" type="checkbox"/> 1:20 MAXIMUM	AREA	<input type="checkbox"/> 1:12 MAX. W/RAILROADS
PARKING			
LOCATION (ACC. PARKING TO BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE TO AN ACCESSIBLE ENTRANCE)			
ACCESSIBLE			
STANDARD ACCESSIBLE SPACES	<input checked="" type="checkbox"/> 20'x20' (MINIMUM)	<input type="checkbox"/> OTHER (SEE REMARKS)	
VAN ACCESSIBLE SPACES	<input checked="" type="checkbox"/> 8'x9' (MINIMUM)	<input type="checkbox"/> OTHER (SEE REMARKS)	
SIGNAGE	<input checked="" type="checkbox"/> POLE MOUNTED	<input type="checkbox"/> WALL MOUNTED (BOTH)	
PASSENGER LOADING ZONE(S)	<input checked="" type="checkbox"/> PROVIDED	<input type="checkbox"/> NOT REQUIRED	
BUILDING HEIGHT REQUIREMENTS			
PERMITTED BUILDING HEIGHT	8 STORIES MAX. (PER B.F. SAIL SITE PLAN FEB. 02, 2005)		
PROPOSED BUILDING HEIGHT	5 STORIES AND 5 STORIES OVER BASEMENT		
TRANSITIONAL HEIGHT PLANE	<input type="checkbox"/> YES (SEE REMARKS)	<input type="checkbox"/> NOT APPLICABLE	
BUILDING SETBACKS			
NORTH BOUNDARY	15'		
SOUTH BOUNDARY	15' - REVISED TO 10'		
EAST BOUNDARY	15'		
WEST BOUNDARY	15'		
REQUIRED BUFFERS			
SEE CIVIL & LANDSCAPE PLANS PER ZONING			
SIDEWALK CLEAR ZONE	<input checked="" type="checkbox"/> YES (REF. SITE PLAN)	<input type="checkbox"/> NOT APPLICABLE	
TREE PLANTING ZONE	<input checked="" type="checkbox"/> YES (REF. SITE PLAN)	<input type="checkbox"/> NOT APPLICABLE	
LANDSCAPE BUFFER	<input checked="" type="checkbox"/> YES (REF. SITE PLAN)	<input type="checkbox"/> NOT APPLICABLE	
SCREENING/FENCING	<input checked="" type="checkbox"/> YES (REF. SITE PLAN)	<input type="checkbox"/> NOT APPLICABLE	
TRANSITIONAL YARD	<input checked="" type="checkbox"/> YES (REF. SITE PLAN)	<input type="checkbox"/> NOT APPLICABLE	
EASEMENTS			
UTILITY/SERVICE	<input checked="" type="checkbox"/> YES (REF. SITE PLAN)	<input type="checkbox"/> NOT APPLICABLE	
ACCESS	<input checked="" type="checkbox"/> YES (REF. SITE PLAN)	<input type="checkbox"/> NOT APPLICABLE	
OTHER (GRADING)	<input checked="" type="checkbox"/> YES (REF. SITE PLAN)	<input type="checkbox"/> NOT APPLICABLE	
SITE AMENITIES			
STREET TREES/LANDSCAPE	<input checked="" type="checkbox"/> YES (REF. LANDSCAPE PLAN)	<input type="checkbox"/> NOT APPLICABLE	
PAVERS/HARDSCAPES	<input checked="" type="checkbox"/> YES (REF. LANDSCAPE PLAN)	<input type="checkbox"/> NOT APPLICABLE	
FURNISHINGS (BENCHES, TRASH RECEPTALS, ETC.)	<input checked="" type="checkbox"/> YES (REF. LANDSCAPE PLAN)	<input type="checkbox"/> NOT APPLICABLE	
STREET LIGHTING	<input checked="" type="checkbox"/> YES (REF. LANDSCAPE PLAN)	<input type="checkbox"/> NOT APPLICABLE	
OTHER	<input checked="" type="checkbox"/> YES (REF. LANDSCAPE PLAN)	<input type="checkbox"/> NOT APPLICABLE	
OFF STREET LOADING	SEE SITE PLAN DOCUMENTS		
REQUIRED NUMBER OF SPACES/SIZE	NOT APPLICABLE		
MINIMUM HEIGHT	NOT APPLICABLE		
MOPED/BICYCLE PARKING	<input type="checkbox"/> YES	<input type="checkbox"/> NOT APPLICABLE	
FIRE DEPARTMENT ACCESS			
SIAMSE CONNECTION	<input checked="" type="checkbox"/> REMOTE	<input type="checkbox"/> BUILDING	
BUILDING ACCESS/FIRE LANE	<input checked="" type="checkbox"/> YES (REF. SITE PLAN)	<input type="checkbox"/> N/A (SEE REMARKS)	
PARKING DECK ACCESS	<input type="checkbox"/> PUMPER TRUCK	<input type="checkbox"/> N/A (SEE REMARKS)	
REMARKS			
LAND USE IS GOVERNED BY SITE SPECIFIC ZONING. SEE B.F. SAIL SITE PLAN DATED FEB. 02, 2005 & CIVIL.			
PARKING DECK IS FULLY SPRINKLERED			

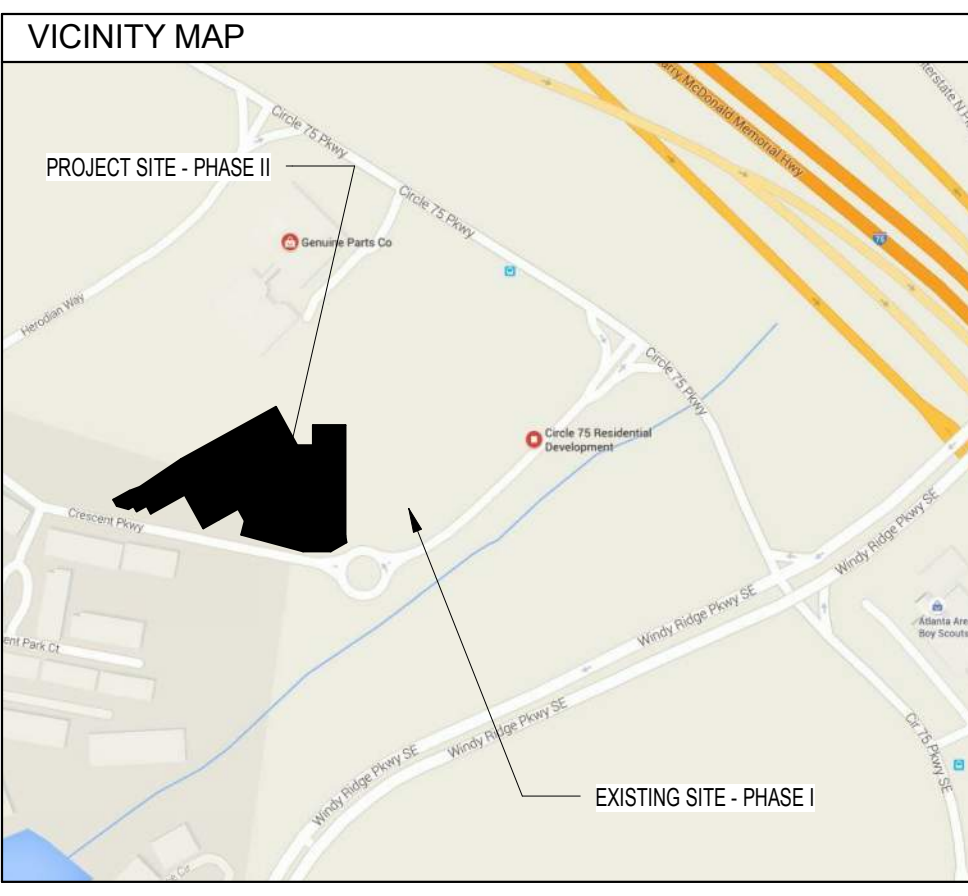


PARKING DATA SUMMARY							
PROJECT LEVEL	PARKING LEVEL	FFE	STD.	HC	HC VAN	EV	TOTAL
9							
8							
7	6	1005'-5.12"	50	0			50
6	5	984'-9.58"	76	2		3	78
5	4	984'-9.12"	77	1		3	78
4	3	973'-3.38"	76	2		3	78
3	2	962'-6.14"	76	2		3	78
2	1	951'-0"	30	0	2		32
1	NA	941'-0"	NA	NA	NA	NA	NA
TOTAL DECK PARKING							
TOTAL STREET PARKING ALONG CRESCENT							
TOTAL STREET PARKING ALONG PRIVATE DRIVE							
TOTAL PARKING PROVIDED							
BUILDING SUMMARY - LEVELS							
PROJECT LEVEL	FFE	BLDG. 1000	BLDG. 2000	BLDG. 3000	BLDG. 4000	PKG. DECK	
8	1025'-9.14"					5	
7	1015'-1.38"					4	
6	1005'-5.12"			5	3	6	
5	994'-9.58"	5	5	4	2	5	
4	984'-0.12"	4	4	3	1	4	
3	973'-3.38"	3	3	2	B	3	
2	962'-6.14"	2	2	1		2	
1	951'-0.18"	1	1			1	
1	941'-0"	B					

**PARKING SUMMARY**  
TOTAL REQUIRED = 1.5 SPACES/ UNIT = 414  
TOTAL IN DECK = 394  
TOTAL SURFACE = 20 (SEE CIVIL)  
TOTAL PROVIDED = 414

ELECTRICAL INFORMATION :	
BUILDING 4000:	31 / 3 METER CENTERS
BUILDING 3000:	17 / 1 METER CENTER
BUILDING 2000:	31 / 3 METER CENTERS
BUILDING 1000:	67 / 1 METER CENTER @ FITNESS 6 METER CENTERS 1 DISCONNECT CUTOFF
TRANSFORMERS TO BE MINIMUM:	
10' FROM BUILDING WALLS	
14' FROM EXIT DOOR OR OPENINGS	
10' FROM EGRESS PATH	
DISTANCES FROM TRANSFORMERS TO ELECTRICAL ROOMS = N/A. METER CENTERS LOCATED ON EXTERIOR OF BUILDINGS = M.C.	

SITE LEGEND	
	PROPERTY LINE P (P.L.)
	BUILDING SETBACK
	FIRE TRUCK ACCESS
	EXISTING CONTOUR LINES
	ASSUMED PROPERTY LINE
	2-HOUR FIRE RATED WALL
	LAND LOT NUMBER
	FINISHED GRADING ELEVATION
	FIRE TRUCK ACCESS
	PROPOSED TRANSFORMER LOCATION
	BASEMENT CONDITION
	METER CENTER



## KEYPLAN

