

Drawing name: K:\A.P. PRJ\01845902 C0-14 75 Pk II\CADD\Plan Sheets\C0-02 - ZONING CONDITIONS.dwg CO-08 ZONING CONDITIONS May 28, 2017 2:33pm by stella.dashinsky
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REZONING APPLICATION NO.: Z-116 / PARKING ANALYSIS STUDY



Croy Engineering, LLC
200 North Cobb Parkway
Building 400, Suite 413
Marietta, Georgia 30062
Phone: 770.971.5407
Fax: 770.971.0820
www.croyengineering.com

MEMORANDUM

To: Ben Curran
Atlantic Realty Partners, Inc.

From: Daniel B. Dobry, Jr., P.E., PTOE, AICP
Aimee Turner, E.I.T., Croy Engineering

Date: November 4, 2015

RE: Zoning Case Z-116 (2004) (OB-042-2015), Cobb County, Georgia
Parking Analysis

Introduction

An amendment for Zoning Case Z-116 of 2004 was originally approved on March 15, 2005 by the Cobb County Board of Commissioners under the Planned Village Community (PVC) classification to incorporate a residential component to the project. The project, The Reserve at the Ballpark, is a phased mid-rise apartment community that is currently in the process of building out Phase II of the development. Phase II of the project is located at the northwest intersection of Circle 75 Parkway and Windy Ridge Parkway, in proximity to SunTrust Park.

The Reserve at the Ballpark, Phases I & II, will have a maximum of 597 residential leased units contained within 2 mid-rise buildings, with a maximum of 6 stories in height. A maximum of 277 of the units will be built in Phase II of the Reserve at the Ballpark development, and shall consist of 30 studio units, 133 one bedrooms, 100 two bedrooms, and 14 three bedrooms. Deck and surface parking is provided for each building.

On October 20, 2015, Zoning Case Z-116 of 2004 was approved for an additional amendment to the Master Plan with stipulations. One of the amendments was a variation in parking requirements for Phase II of the residential development, under the stipulation that "a parking study be submitted by Applicant through the Cobb County Zoning Division Manager and accepted by Cobb County Staff during the plan Review Process." Following is the parking study to evaluate the number of parking spaces necessary for the planned development, which is Phase II of the Reserve at the Ballpark.

Zoning Case Z-116 (2004) (OB-042-2015), Cobb County, Georgia
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November 2015

Summary and Conclusion

To meet the requirements stipulated for Zoning Case Z-116 of 2005 (OB-042-2015), a parking analysis was performed. Different standards were used to project the number of parking spaces needed to adequately serve the Reserve at the Ballpark Phase II residential development. Based on the calculated results applying rates from standards in the metro Atlanta region for high-rise apartments and multi-family units and ITE's *Parking Generation* for mid-rise apartments, an acceptable number of parking spaces to serve the development would be a minimum of 383 spaces. For the design of the parking spaces, the Cobb County Development Standard detail for Off-Street Parking Spaces is appropriate.

Attachment

A. Cobb County Development Standard Detail 114 (Off-Street Parking)

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Parking Space Analysis

Number of Parking Spaces

For a proposed development, mixed-use or otherwise, there are numerous standards that can be applied to the proposed land uses and the number of parking spaces required for the amount of each land use that is constructed. In Cobb County's zoning ordinance (Section 134-272. Traffic and parking.) for designated types of land use, there is a factor identified for calculating the parking requirements. The factor of 1.75 parking spaces per dwelling unit is identified for both the High-rise apartments and Multi-family dwelling units; there is no Mid-rise apartment designation.

Part of the analysis included evaluating zoning ordinances for parking requirements for similar counties to determine trends in the metro Atlanta region. DeKalb County was one of the more similar counties in composition when compared to Cobb County, and their parking requirements (Zoning Ordinance of DeKalb County - Article 6. Parking) were assessed as an alternative in the analysis.

Other published standards that are commonly used to calculate parking requirements include the Institute of Transportation Engineers (ITE) *Parking Generation*, 4th Edition. This document has compiled data from parking studies conducted nationwide and has calculated parking requirements per designated units of land use. The following table shows the average peak period parking demand ratios per dwelling unit for suburban and urban locations.

Parking Demand Ratios per Land Use Activity		
Land Use Activity (Land Use Code)	Suburban	Urban
Low/Mid-Rise Apartment (221)	1.23	1.20

To estimate the number of parking spaces to accommodate the planned Phase II of the Reserve at the Ballpark development, a comparison was made between the standards identified above. The number of parking spaces was calculated by multiplying the identified above standards' parking rate by the number of dwelling units. The results of the analysis are presented in the following table.

Parking Space Comparison						
	Cobb County		Parking Generation		DeKalb County	
	Rate	Number of Spaces	Rate	Number of Spaces	Rate	Number of Spaces
Residential (277 dwelling units)	1.75 per dwelling unit	485	1.20 per dwelling unit	333	1.5 per dwelling unit	416

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It is recognized that a certain number of parking spaces are "shared" by users of the different land use activities within mixed-use developments because parking demands per land use activity vary at different times of the day. The Reserve at the Ballpark included an amendment stating that the residential buildings shall contain a maximum of 7,000 square feet for potential accessory service retail located on the ground floor. These accessory service retail businesses would be built to primarily serve the residents of the Reserve at the Ballpark; thus, shared parking between customers to the service retail and the residents would greatly overlap. To perform a more conservative analysis, the reduction in parking spaces accounting for shared uses within the Reserve at the Ballpark was not applied.

Considering all standards and the range in their rates for parking spaces, it has been concluded that an intermediate rate would be more than reasonable in the case of the Reserved at the Ballpark. Using the national rate for parking spaces of 1.20 per dwelling unit for urban settings would result in 333 parking spaces for Phase II of the Reserve at the Ballpark. To accommodate any unanticipated rise in the amount of parking spaces needed, a 15% increase in parking spaces above the national standard is suggested. This would result in a minimum of 383 parking spaces being needed.

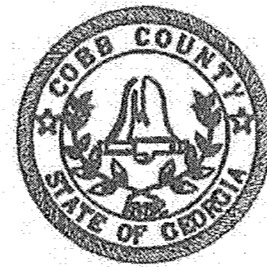
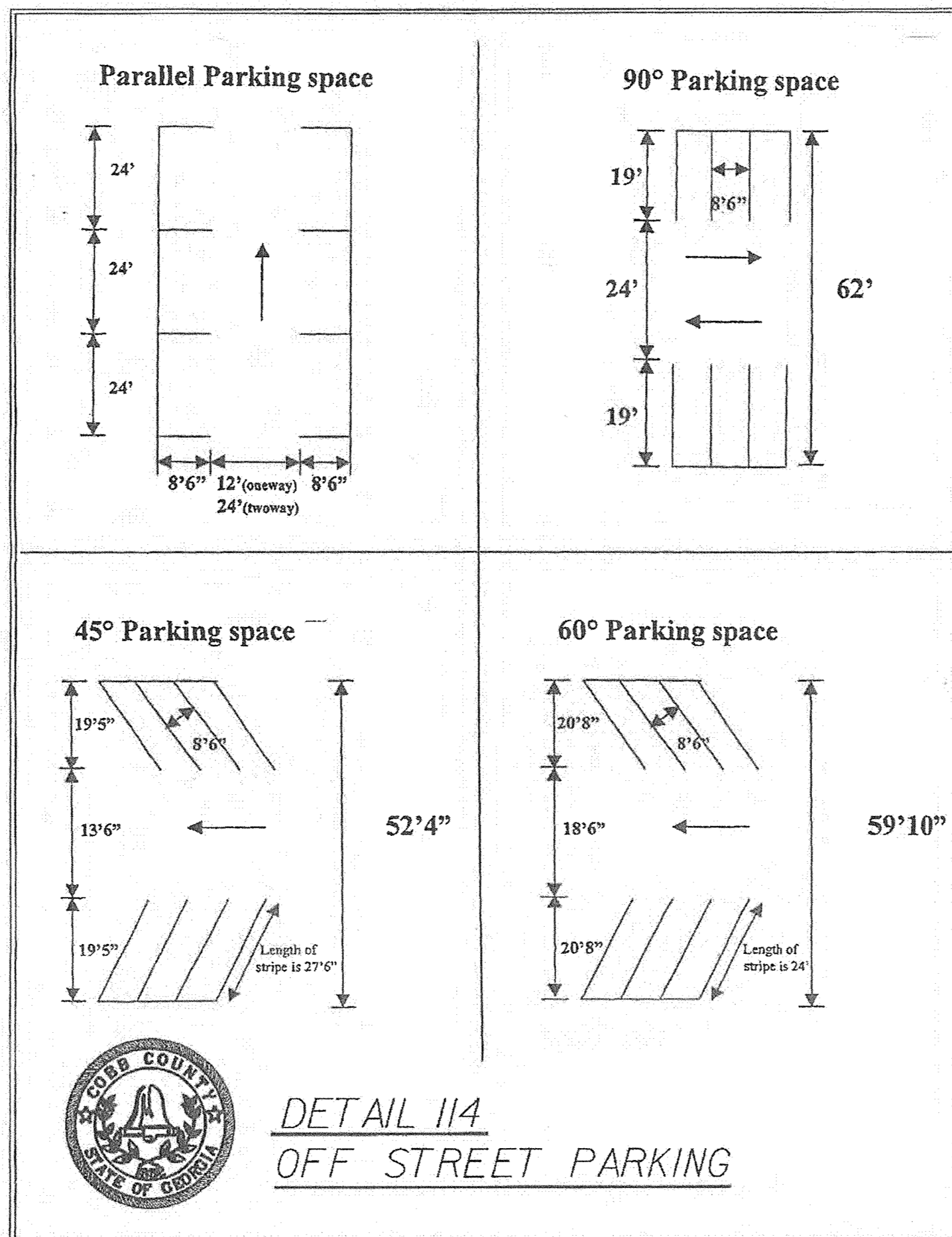
Atlantic Realty Partners, Inc. is proposing to provide 394 parking spaces which is an approximate rate of 1.4 parking spaces per dwelling unit for the development. In the case of the Reserve at the Ballpark, this is more than acceptable given national standard rates.

Size of Parking Spaces

For the dimensions of the parking spaces, the Cobb County Development Standard Detail 114 for Off-Street Parking Spaces is applicable. The proposed parking spaces will be designed at 90° angles; thus, each space should be 19 feet long and 8 feet 6 inches wide. The detail is attached.

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DETAIL 114
OFF STREET PARKING

7	6	5	4	3	2	1	No.	REVISIONS	DATE	BY
			APPROVED LDP	CHP SET	REVISED PER COUNTY COMMENTS	LDP SUBMITTAL				
Kimley»Horn										
© 2015 KIMLEY-HORN AND ASSOCIATES, INC. 10 ROSWELL STREET, SUITE 210 ALPHARETTA, GEORGIA 30009 PHONE (770) 619-4280 WWW.KIMLEY-HORN.COM										
REGISTERED PROFESSIONAL ENGINEER No. 19885 EXPIRATION DATE 12/31/2017 BRENT M. RAY										
AS NOTED	SD	SD	GMW							
SCALE	DRAWN BY:	DESIGNED BY:	CHECKED BY:							
PROJECT: REVEL AT THE BALLPARK II COBB COUNTY, GA				CLIENT: ATLANTIC REALTY PARTNERS, INC						
TITLE: ZONING CONDITIONS (SHEET 5 OF 5)				3378 PEACHTREE RD ATLANTA, GA 30326 PHONE: 404-591-2492						
DATE 11/04/2015										
PROJECT NO. 018459002										
SHEET NUMBER C0-14										

COBB COUNTY
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CONSTRUCTION