

NO PERMANENT SIGN(S), FLAG POLE(S), PROPOSED FIRE HYDRANTS OR
POWER TRANSFORMERS WILL BE PLACED IN CONFLICT WITH AN
ORDINANCE CODED OR APPROVED TREE PLANTING LOCATION

THE COBB COUNTY ARBORIST OR LANDSCAPE ARCHITECT MUST APPROVE THE SITE LIGHTING PLAN. LIGHT POLES ARE NOT PERMITTED TO BE PLACED WITHIN 10 FEET OF ANY TREE OR SHRUB. PRIOR APPROVAL OF THE COUNTY ARBORIST, 20 FT. MINIMUM SPACING IS REQUIRED BETWEEN THE TRUNK OF ANY PROPOSED OVER-STORY HARDWOOD TREE (OR EXISTING TREE COUNTED FOR TREE PROTECTION) AND ANY LIGHTING POLE. THE SERVICE PROVIDER (ELECTRIC COMPANY) PRODUCES A LIGHTING PLAN. IT MUST ADHERE TO THE LIGHTING PLAN SHOWN IN THE CIVIL ENGINEERING DRAWINGS. THE LIGHTING PLAN MUST BE APPROVED BY THE COUNTY PERMIT. IF A LIGHTING PLAN IS NOT A PART OF THE CIVIL DRAWINGS, THE LIGHTING PLAN DESIGNER MUST SUBMIT A PLAN TO THE ARBORIST/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. IF SITE LIGHTING IS NOT REQUIRED, THE LIGHTING PLAN SHALL BE A CERTIFICATE OF OCCUPANCY WILL BE WITHHELD UNTIL ALL CONFLICTING POWER POLES ARE REMOVED. CALL 770-628-2124.

THE PARKING LOT AND PARKING SPACES SHALL CONFORM TO COUNTY
DETAIL #114.

MINIMUM ISD REQUIREMENTS MUST BE SATISFIED PRIOR TO START OF CLEARING OPERATIONS.

ANY CONSTRUCTION TRAILERS TO BE PERMITTED THROUGH THE ZONING DIVISION.

COBB COUNTY ACCEPTS NO RESPONSIBILITY FOR THE AMERICANS WITH DISABILITIES ACT (ADA), EXCEPT FOR NOTIFICATION REQUIREMENT. THE OWNER/DEVELOPER IS SOLELY RESPONSIBLE FOR COMPLIANCE WITH SAID ACT.

ANY SIGNS TO BE PERMITTED THROUGH THE COBB COUNTY CODE ENFORCEMENT DIVISION; I.E. SUBDIVISION ENTRANCE SIGNS, MONUMENTS, AND ALL COMMERCIAL SIGNS. THE LOCATION OF SUBDIVISION SIGNS MUST ALSO BE SHOWN ON THE PLANS.

APPLICANT AGREES TO CONSIDER A CIRCULAR BUS SERVICE WITHIN THE AREA IN CONJUNCTION WITH THE CUMBERLAND CID.

RETAINING WALLS DESIGN IS NOT INCLUDED IN
THIS PLAN SET, AND WILL BE SUBMITTED
SEPARATELY AS A LDP REVISION.
STRUCTURAL ENGINEER, CERTIFIED IN GA
SHALL PROVIDE DESIGN FOR REINFORCED
CONCRETE WALLS ATTACHED TO THE BUILDING
VENDOR SHALL PROVIDE ALL
DESIGN/MATERIALS/SPECIFICATIONS FOR
MODULAR WALL DESIGN

BOTTOM OF WALL ELEVATIONS SHOWN TO
FINISHED GRADE. RETAINING WALLS TO EXTEND
BELOW TO FOOTING DEPTH .

THE PARKING SPACES SHALL CONFORM TO COUNTY
DETAIL #114 SEE SHT. C6-04

PARKING DECK: 394 SPACES TOTAL,
8 H/C PARKING SPACES
(1 IS H/C VAN ACCESSIBLE)

**CRESCENT PARKWAY OFF-STREET PARKING:
15 PARKING SPACES**

PRIVATE DRIVE OFF-STREET PARKING:
6 PARKING SPACES TOTAL

TOTAL PARKING PROVIDED: 415 SPACES

COBB COUNTY PARKING REQUIREMENTS:
PER APPROVED PARKING STUDY (LETTER DATED
OCTOBER 15, 2015; ITEM 13)

275 UNITS X 1.50 = 413 SPACES REQUIRED

STUDIO UNITS: 30
1-BEDROOM UNITS: 132
2-BEDROOM UNITS: 99
3-BEDROOM UNITS: 14

TOTAL UNITS:	275
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NOTE:
SURFACE COURSE IN NEW PAVEMENT AREAS
SHALL NOT BE INSTALLED UNTIL FINAL PHASE
OF CONSTRUCTION.

SEE HARDSCAPE PLANS FOR
COURTYARDS DESIGN AND FOR
HARDSCAPE MATERIALS AND DETAILS


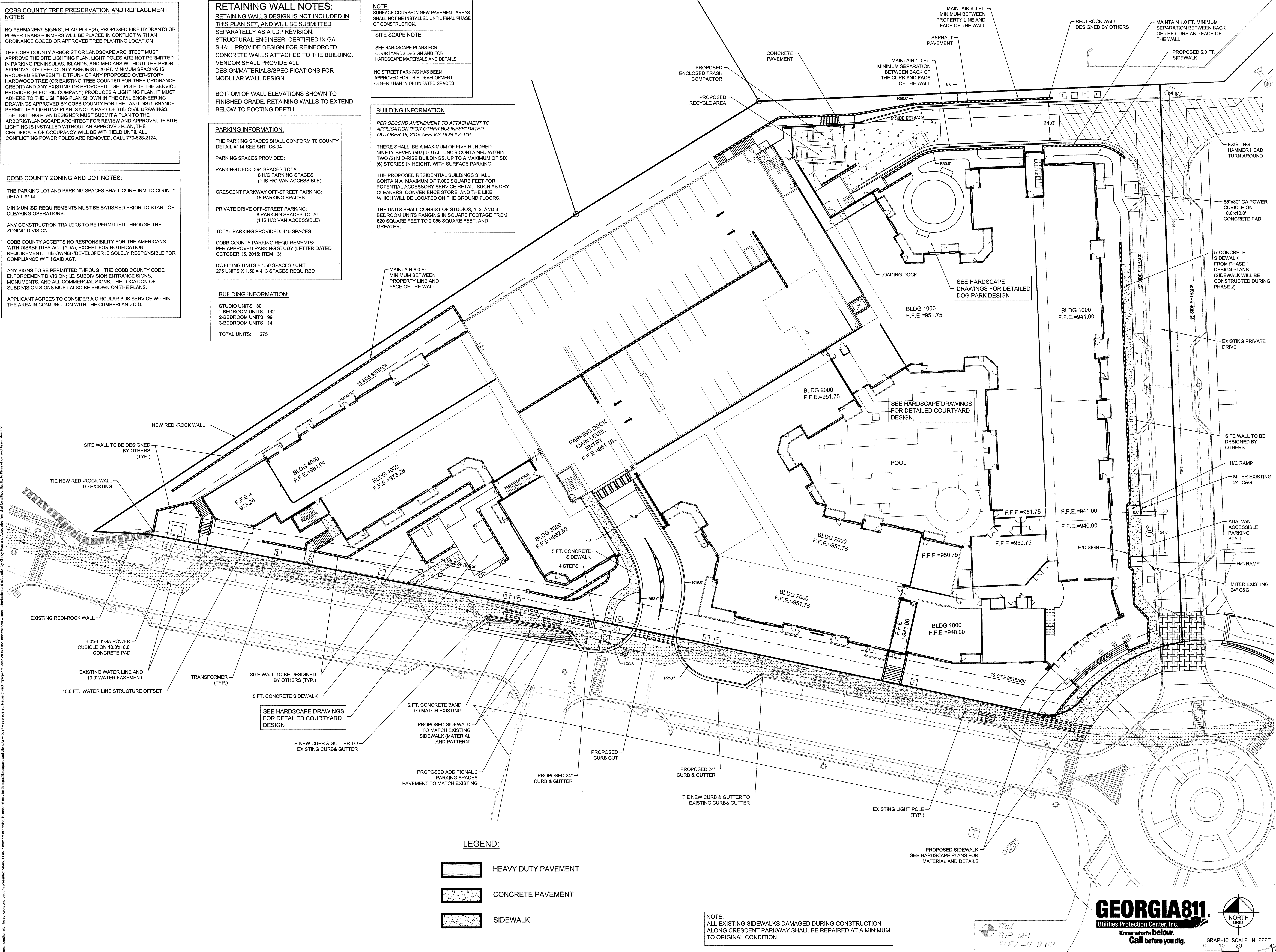
NO STREET PARKING HAS BEEN
APPROVED FOR THIS DEVELOPMENT
OTHER THAN IN DELINEATED SPACES

PER SECOND AMENDMENT TO ATTACHMENT TO
APPLICATION "FOR OTHER BUSINESS" DATED
OCTOBER 15, 2015 APPLICATION # Z-116

THERE SHALL BE A MAXIMUM OF FIVE HUNDRED NINETY-SEVEN (597) TOTAL UNITS CONTAINED WITHIN TWO (2) MID-RISE BUILDINGS, UP TO A MAXIMUM OF SIX (6) STORIES IN HEIGHT, WITH SURFACE PARKING.

THE PROPOSED RESIDENTIAL BUILDINGS SHALL CONTAIN A MAXIMUM OF 7,000 SQUARE FEET FOR POTENTIAL ACCESSORY SERVICE RETAIL, SUCH AS DRY CLEANERS, CONVENIENCE STORE, AND THE LIKE, WHICH WILL BE LOCATED ON THE GROUND FLOORS.

THE UNITS SHALL CONSIST OF STUDIOS, 1, 2, AND 3 BEDROOM UNITS RANGING IN SQUARE FOOTAGE FROM 620 SQUARE FEET TO 2,066 SQUARE FEET, AND GREATER.



HEAVY DUTY PAVEMENT

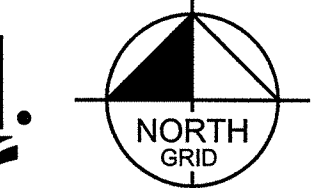
CONCRETE PAVEMENT

SIDEWALK

NOTE:
ALL EXISTING SIDEWALKS DAMAGED DURING CONSTRUCTION
ALONG CRESCENT PARKWAY SHALL BE REPAIRED AT A MINIMUM
TO ORIGINAL CONDITION.

TBM
TOP MH
ELEV.=939.69



GEORGIA811.
Utilities Protection Center, Inc.
Know what's below.
Call before you dig.



GRAPHIC SCALE IN FEET

0 10 20 40

100

PROJECT: REVEL AT THE BALLPARK II COBB COUNTY, GA		CLIENT: ATLANTIC REALTY PARTNERS, INC. 3378 PEACHTREE RD ATLANTA GA 30326 PHONE: 404-591-2492		SCALE: AS NOTED DRAWN BY: SD DESIGNED BY: SD CHECKED BY: GMM						© 2014 KIMLEY-HORN AND ASSOCIATES, INC. 10 ROSWELL STREET, SUITE 210 ALPHARETTA, GEORGIA 30009 PHONE (770) 619-4280 WWW.KIMLEY-HORN.COM		7 6 5 4 3 2 1		8 7 6 5 4 3 2 1		9 8 7 6 5 4 3 2 1		10 9 8 7 6 5 4 3 2 1		11 10 9 8 7 6 5 4 3 2 1		12 11 10 9 8 7 6 5 4 3 2 1		13 12 11 10 9 8 7 6 5 4 3 2 1		14 13 12 11 10 9 8 7 6 5 4 3 2 1		15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		37 36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		38 37 36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		39 38 37 36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		40 39 38 37 36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		41 40 39 38 37 36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		42 41 40 39 38 37 36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		43 42 41 40 39 38 37 36 35 34 33 32 31 30 29 28 27 26 25 24 23 22	
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