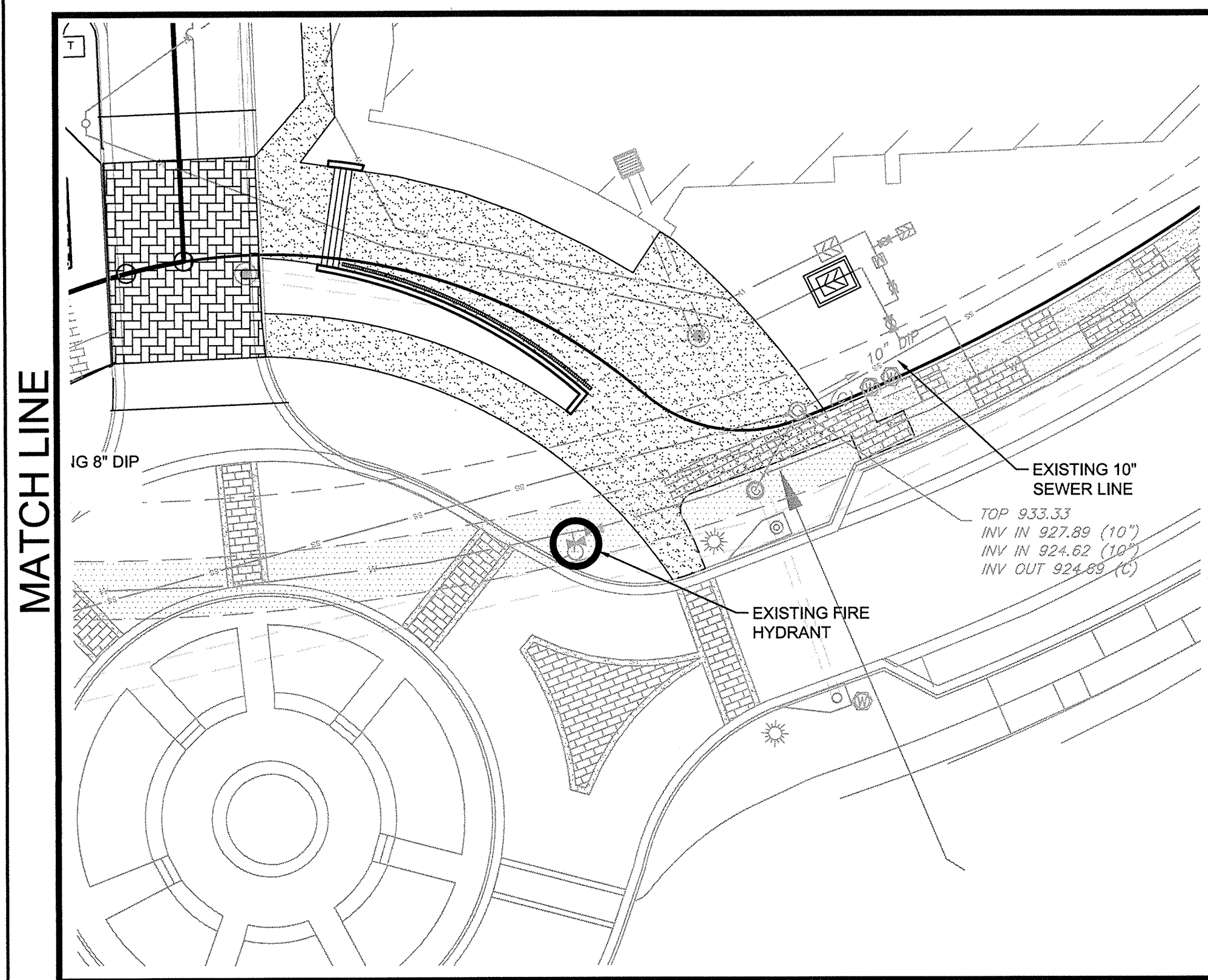


Drawing name: K:\ALP\_F\PROJ10184SS002 Circle 75 P\11\ACAD\DW\11\11Sheet15.dwg  
 Date: 2011 May 20, 4:01 pm  
 User: alexander.alexander@nrc.ca



NOTE:  
ALL EXISTING SIDEWALKS DAMAGED DURING CONSTRUCTION  
ALONG CRESCENT PARKWAY SHALL BE REPAIRED AT A MINIMUM  
TO ORIGINAL CONDITION.

**BUILDING INFORMATION:**

STUDIO UNITS: 30  
1-BEDROOM UNITS: 132  
2-BEDROOM UNITS: 99  
3-BEDROOM UNITS: 14  
  
TOTAL UNITS: 275

COBB COUNTY TREE PRESERVATION AND REPLACEMENT  
NOTES

THE COBB COUNTY ARBORIST OR LANDSCAPE ARCHITECT MUST APPROVE THE SITE LIGHTING PLAN. LIGHT POLES ARE NOT PERMITTED IN PARKING PENINSULAS, ISLANDS, AND MEDIANS WITHIN OR PRIOR TO THE INTERSECTION OF ANY STREET OR DRIVE. LIGHTING IS REQUIRED BETWEEN THE TRUNK OF ANY PROPOSED OVER-STORY HARDWOOD TREE (OR EXISTING TREE COUNTED FOR TREE ORDINANCE CREDIT) AND ANY EXISTING OR PROPOSED LIGHT POLE. IF THE SERVICE AREA OF THE LIGHTING POLE IS NOT FULLY COVERED, THE LIGHTING MUST ADHERE TO THE LIGHTING PLAN SHOWN IN THE CIVIL ENGINEERING DRAWINGS APPROVED BY COBB COUNTY FOR THE LAND DISTURBANCE PERMIT. THE LIGHTING DESIGNER MUST SUBMIT A PLAN TO THE ARBORIST/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. IF SITE LIGHTING IS INSTALLED WITHOUT AN APPROVED PLAN, THE CERTIFICATE OF OCCUPANCY WILL BE DENIED. ALL CONFLICTING POWER POLES ARE REMOVED. CALL 770-528-2124.

THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES TO BE PRESERVED.

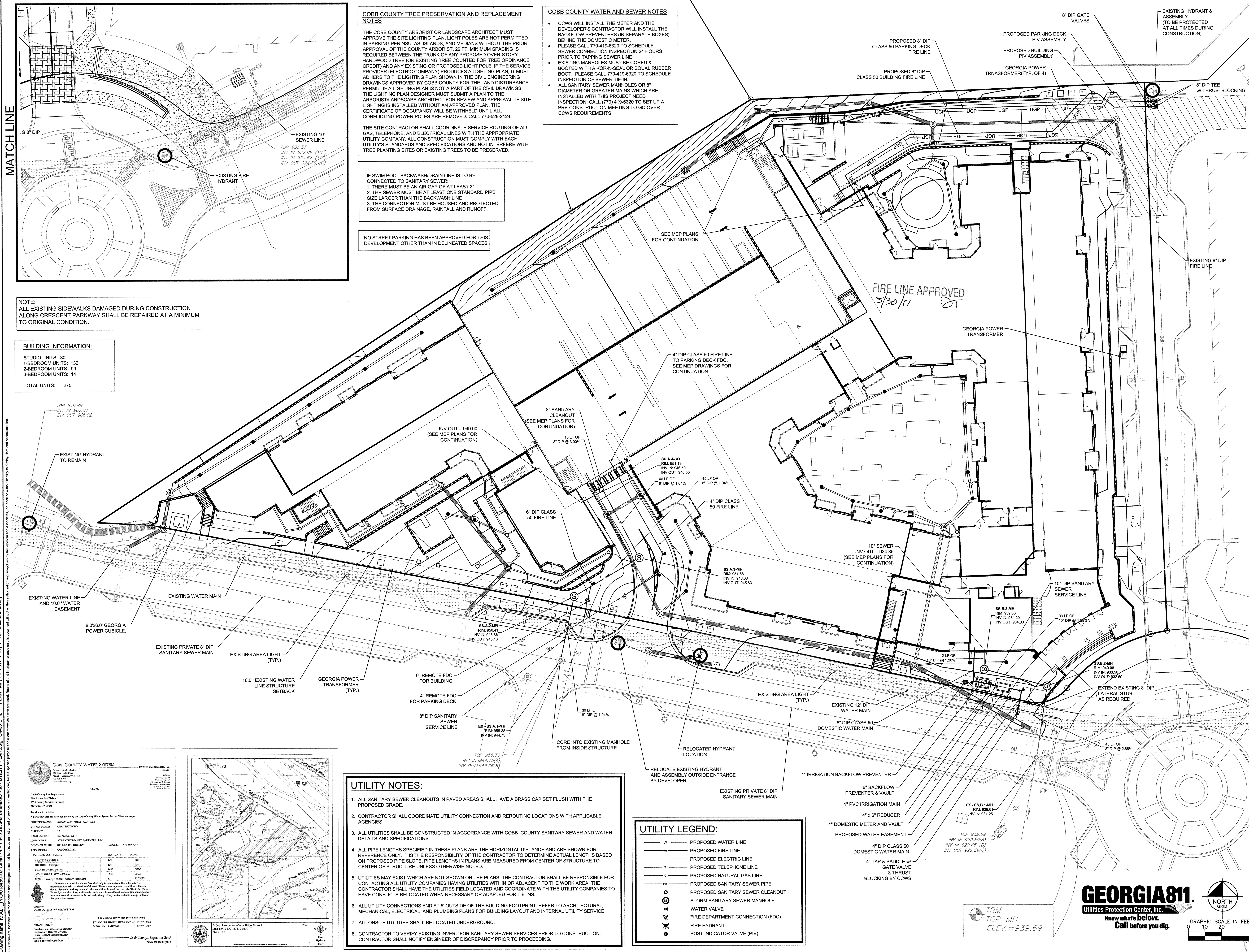
IF SWIM POOL BACKWASH/DRAIN LINE IS TO BE CONNECTED TO SANITARY SEWER:

1. THERE MUST BE AN AIR GAP OF AT LEAST 3"
2. THE SEWER MUST BE AT LEAST ONE STANDARD PIPE SIZE LARGER THAN THE BACKWASH LINE
3. THE CONNECTION MUST BE HOUSED AND PROTECTED FROM SURFACE DRAINAGE, RAINFALL AND RUNOFF.

NO STREET PARKING HAS BEEN APPROVED FOR THIS DEVELOPMENT OTHER THAN IN DELINEATED SPACES

COBB COUNTY WATER AND SEWER NOTES













- COWS WILL INSTALL THE METER AND THE DEVELOPER'S CONTRACTOR WILL INSTALL THE BACKFLOW PREVENTERS (IN SEPARATE BOXES) BEHIND THE DOMESTIC METER.
- CALL 770-419-8320 TO SCHEDULE SEWER CONNECTION INSPECTION 24 HOURS PRIOR TO TAPPING SEWER LINE
- EXISTING MANHOLES MUST BE CURED & BOOTED WITH A KOR-N-SEAL OR EQUAL RUBBER BOOT. PLEASE CALL 770-419-8320 TO SCHEDULE INSPECTION OF SEWER TIE-IN.
- ALL SANITARY SEWER MANHOLES OR 8" DIAMETER OR GREATER MAINS WHICH ARE INSTALLED WITH THIS PROJECT NEED A CONNECTION. CALL 770-419-8320 TO SET UP A PRE-CONSTRUCTION MEETING TO GO OVER COWS REQUIREMENTS



UTILITY NOTES:

1. ALL SANITARY SEWER CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
2. CONTRACTOR SHALL COORDINATE UTILITY CONNECTION AND REROUTING LOCATIONS WITH APPLICABLE AGENCIES.
3. ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COBB COUNTY SANITARY SEWER AND WATER DETAILS AND SPECIFICATIONS.
4. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
5. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
6. ALL UTILITY CONNECTIONS END AT & OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR BUILDING LAYOUT AND INTERNAL UTILITY SERVICE.
7. ALL ONSITE UTILITIES SHALL BE LOCATED UNDERGROUND.
8. CONTRACTOR TO VERIFY EXISTING INVERT FOR SANITARY SEWER SERVICES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.

UTILITY LEGEND:

- |   |    |                                  |
|---|----|----------------------------------|
|  | W  | PROPOSED WATER LINE              |
|  | F  | PROPOSED FIRE LINE               |
|  | E  | PROPOSED ELECTRIC LINE           |
|  | T  | PROPOSED TELEPHONE LINE          |
|  | G  | PROPOSED NATURAL GAS LINE        |
|  | SS | PROPOSED SANITARY SEWER PIPE     |
|  |    | PROPOSED SANITARY SEWER CLEANOUT |
|  |    | STORM SANITARY SEWER MANHOLE     |
|  |    | WATER VALVE                      |
|  |    | FIRE DEPARTMENT CONNECTION (FDC) |
|  |    | FIRE HYDRANT                     |
|  |    | POST INDICATOR VALVE (PIV)       |

<h2 style="text-align: center; margin: 0;">COBB COUNTY WATER SYSTEM</h2> <p style="text-align: center; margin: 0;">Customer Service Policy          10000 Peachtree Industrial Road          Atlanta, Georgia 30339-2015          Phone: 404.392.2200          Website: www.cobbwater.com</p>	<p style="text-align: right; margin: 0;">Step 1 of 2</p>
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<p><b>Cobb County Fire Department</b>  <b>Fire Protection Division</b>  <b>Cobb County Emergency Services</b>  <b>Marina, GA 30080</b></p>	<p>4/25/2017</p>	
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A Fire Flow Test has been conducted by the Cobb County Water System for the following project:

PROJECT NAME:	RD 17 AT THE FAIR PARK 2	
STREET NAME:	CHECKPOINT DRIVE	
DISTRICT:	ROSENTHAL	
LAND LOT(s):	PT 2N 81W 87	
CONTACT NAME:	STANLEY HEALY PARTNERS, LLC	
CONTACT PHONE:	STATIS BARRISKEY	
PHONE:	404.292-7643	

C O B B      C O U N T Y      W A T E R      S Y S T E M

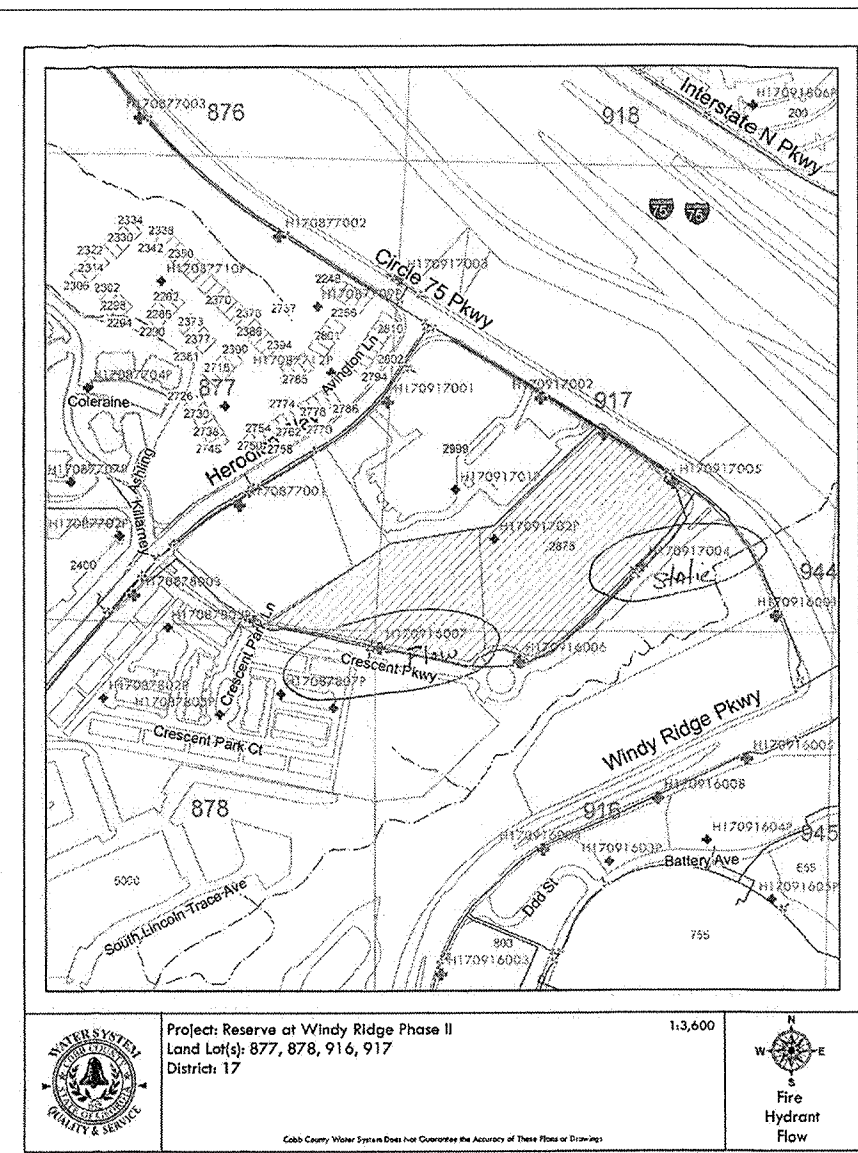
  

<p>The results of this test are:</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 30%;">STATIC PRESSURE</td> <td style="width: 30%;">142 PSI</td> <td style="width: 40%;">4/24/17</td> </tr> <tr> <td>RESIDUAL PRESSURE</td> <td>131 PSI</td> <td></td> </tr> <tr> <td>FLY FLOW TEST FLOW</td> <td>1488 GPM</td> <td></td> </tr> <tr> <td>AVERAGE FLOW AT 150' AT 200 PSI</td> <td>854 GPM</td> <td></td> </tr> </table> <p>NOT FOR WATER MAINS UNCONFINED/COVERED</p>	STATIC PRESSURE	142 PSI	4/24/17	RESIDUAL PRESSURE	131 PSI		FLY FLOW TEST FLOW	1488 GPM		AVERAGE FLOW AT 150' AT 200 PSI	854 GPM		<p>TEST DATE    4/24/17</p> <p>TEST PRESSURE    142 PSI</p> <p>TEST FLOW    1488 GPM</p> <p>TEST FLOW AT 150' AT 200 PSI    854 GPM</p> <p>TEST PRESSURE    131 PSI</p> <p>TEST FLOW    1488 GPM</p>
STATIC PRESSURE	142 PSI	4/24/17											
RESIDUAL PRESSURE	131 PSI												
FLY FLOW TEST FLOW	1488 GPM												
AVERAGE FLOW AT 150' AT 200 PSI	854 GPM												

The data contained herein are furnished solely to documents the adequate fire flow available at the site for the project. Performance is pressure and flow not volume. The Cobb County Water System does not warrant, represent or guarantee the accuracy of the data. The Water System personnel, however, are responsible to ensure that the data and adequate hydrologic information are used in the design, plan, water distribution, hydraulic, or fire protection system.

<p><b>Signature:</b>  <b>COBB COUNTY WATER SYSTEM</b></p>  <p><b>BRIAN HINLEY</b>          Construction Inspector Supervisor          Engineering Department          10000 Peachtree Industrial Road          Atlanta, Georgia 30339-2015          Phone: 404.392.2200</p>	<p style="text-align: right;">For: <b>Cobb County Water System</b>    01/17/2017</p> <p style="text-align: right;"><b>STATIC PRESSURE</b>    142 PSI    4/24/17</p> <p style="text-align: right;"><b>FLY FLOW</b>    1488 GPM    4/24/17</p> <p style="text-align: right;"><b>Cobb County</b></p>
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MATCH LINE. SEE THIS SHEET

CLIENT: ATLANTIC REALTY PARTNERS, INC.

REVEL AT THE BALLPARK II

PROJECT	11
	PR
	01
COUNTY	SHE
FLORIDA	C
REVISED	

## UTILITY PLAN

FILE	
DATE	2015
TEST NO.	9002
NUMBER	00

**Kimley»Horn**

DATE:	AS NOTED
DRAWN BY:	SD
DESIGNED BY:	SD
CHECKED BY:	

NERS, INC.

REALTY PART  
33378 PEACHTREE RD  
ATLANTA GA 30326

CLIENT:  
ATLANTIC

LPARK II

COBB COUNTY, GA  
UTILITY PLAN

PROJECT	TITLE:
DATE 11/04/2015	
PROJECT NO. 018459002	
COUNTY FLORIDA BIRMINGHAM	SHEET NUMBER <b>C4-00</b>

**Kimley»»Horn**  
© 2015 KIMLEY-HORN AND ASSOCIATES, INC.  
10 ROSWELL STREET, SUITE 210  
ALPHARETTA, GEORGIA 30009  
PHONE (770) 619-4280

DATE:	AS NOTED
DRAWN BY:	SD
DESIGNED BY:	SD
CHECKED BY:	

NERS, INC.

REALTY PART  
33378 PEACHTREE RD  
ATLANTA GA 30326

CLIENT:  
ATLANTIC

LPARK II

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