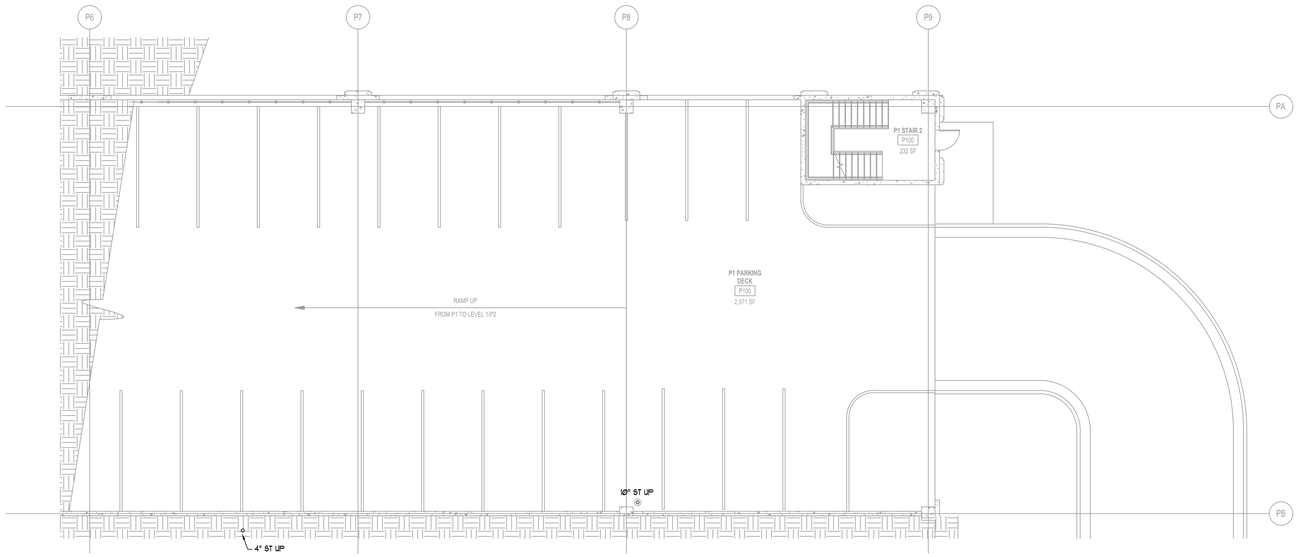

PROVIDE TRAFFIC RATED AREA DRAINS AS LOCATED ON ARCHITECTURAL PLANS

1 / P2.000 LEVEL P1 ZONE D – PLUMBING

1/8"=1'-0"

PROVIDE DRY STANDPIPES PER NFPA 14/88A

BW&A

Barrett Woodyard & Associates, Inc

3495 Holcomb Bridge Road
Norcross, GA 30092
Phone (770) 810-8800
Fax (770) 810-8808

GEORGIA REGISTERED PROFESSIONAL ENGINEER GREGORY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD /
ALPHARETTA, GEORGIA 30009

♦

STORMONT HOSPITALITY GROUP, LLC /
NORTH AMERICAN PROPERTY GROUP

LEVEL P1
ZONE D
PLUMBING

K. PRICE — Principal-in-Charge
G. JENKINS — Project Engineer
T. MERCER — Drawn By

140028 — BW&A Project No.
10/17/16 — Date

P2.00D — Drawing No.

ISSUED FOR CONSTRUCTION

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Barrett, Woodyard & Associates, Inc
3495 Holcomb Bridge Road
Norcross, GA 30092
Phone (770) 810-8800
Fax (770) 810-8808

GEORGIA REGISTERED PROFESSIONAL ENGINEER JEREMY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD /
ALPHARETTA, GEORGIA 30009

♦

STORMONT HOSPITALITY GROUP, LLC /
NORTH AMERICAN PROPERTY GROUP

LEVEL 1 - ZONE A PLUMBING

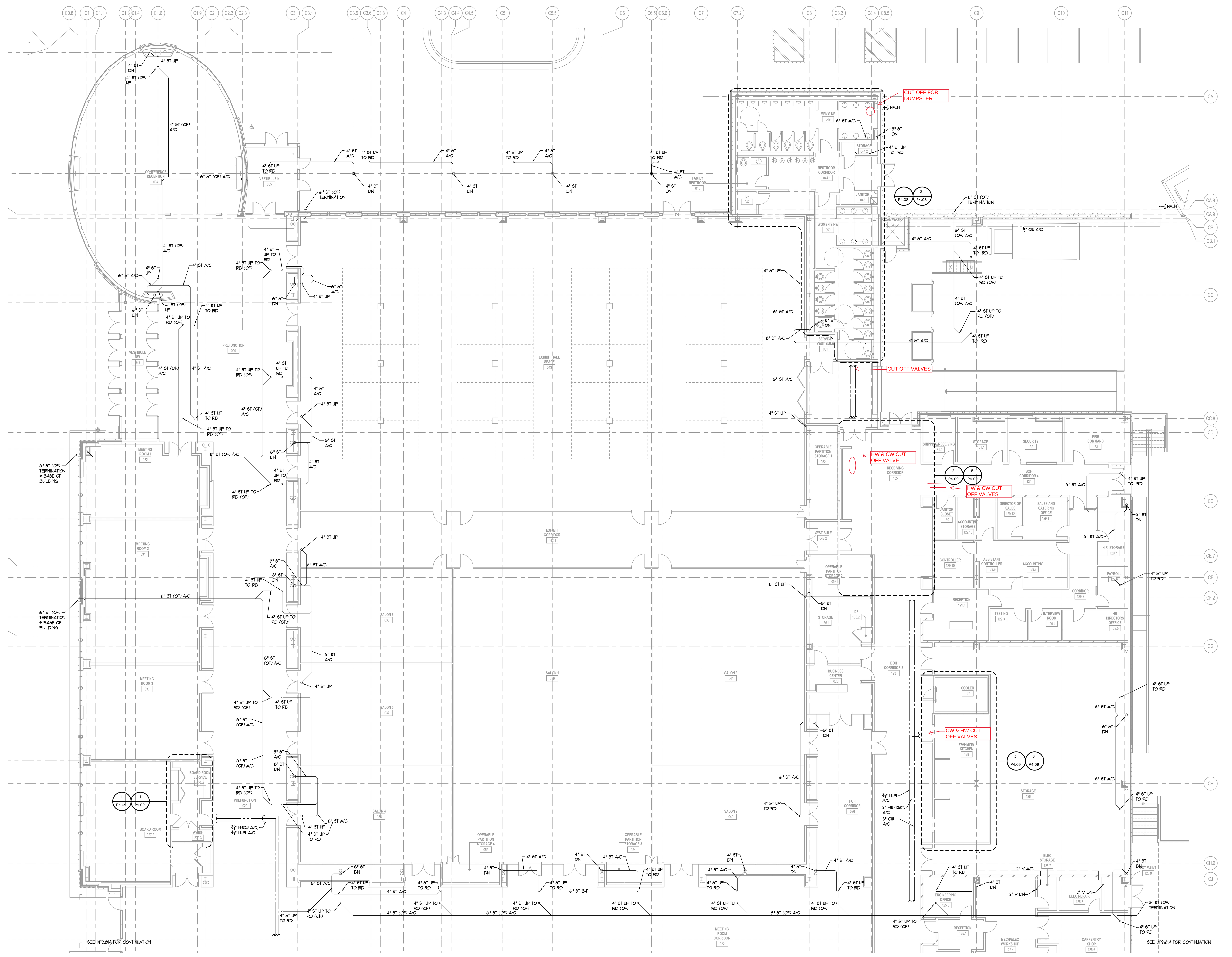
K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

P2.01A

Drawing No.

ISSUED FOR CONSTRUCTION

1 P2.01A LEVEL 1 ZONE A – PLUMBING
1/8" = 1'-0"



1 P2.01B LEVEL 1 ZONE B – PLUMBING
1/8" = 1'-0"

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Norcross, GA 30092
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GEORGIA REGISTERED PROFESSIONAL ENGINEER No. 032231 GARRY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

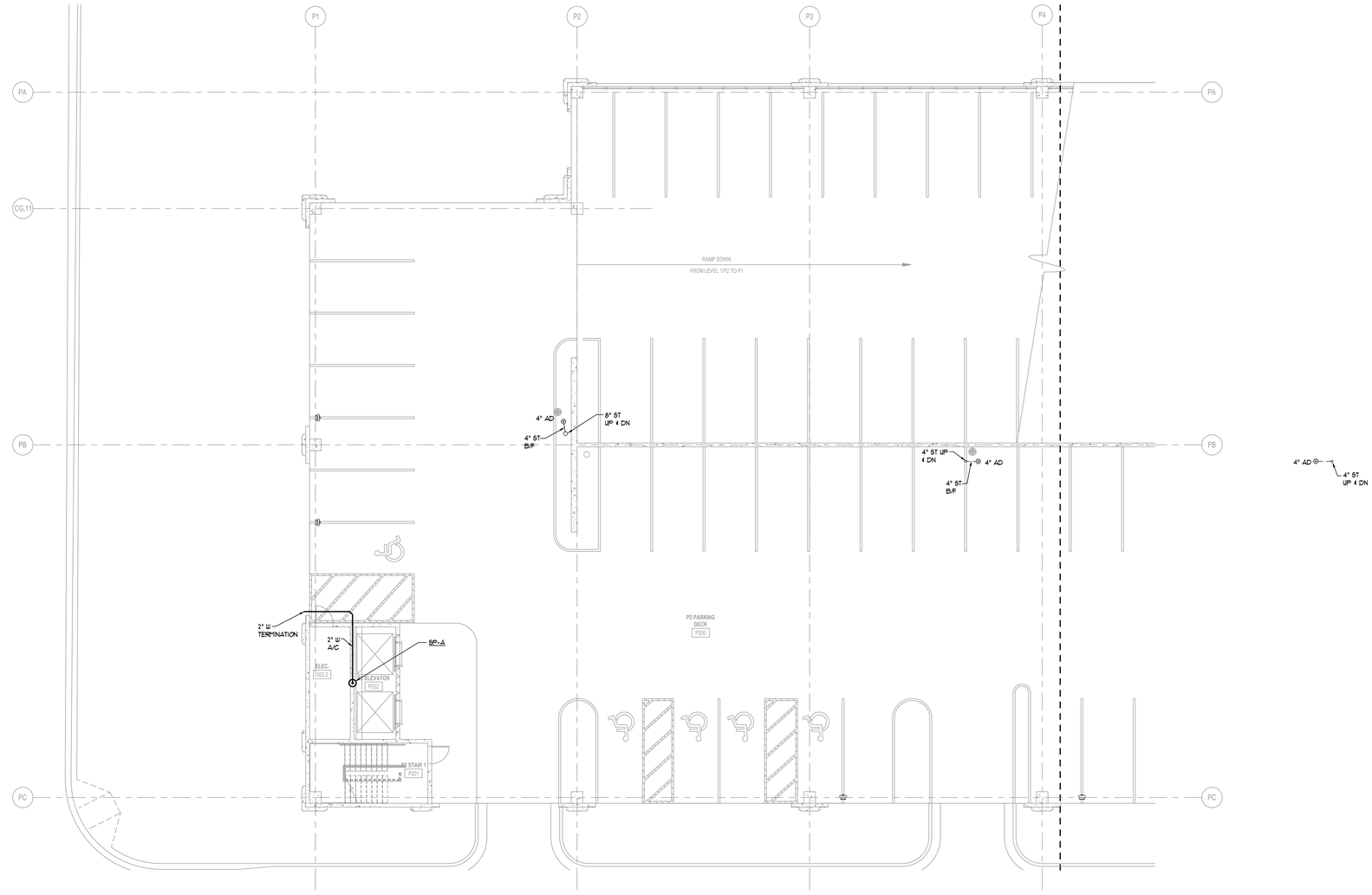
9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009
♦
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

LEVEL 1 - ZONE B PLUMBING

K. PRICE — Principal-in-Charge
G. JENKINS — Project Engineer
T. MERCER — Drawn By
140028 — BW&A Project No.
10/17/16 — Date

P2.01B
Drawing No.

ISSUED FOR CONSTRUCTION



PROVIDE TRAFFIC RATED AREA DRAINS AS LOCATED ON ARCHITECTURAL PLANS

1 P2.01C LEVEL P2 ZONE C – PLUMBING
1/8"=1'-0"

PROVIDE DRY STANDPIPES PER NFPA 14/88A.

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Barrett Woodyard & Associates, Inc
3495 Holcomb Bridge Road
Norcross, GA 30092
Phone (770) 810-8800
Fax (770) 810-8808

GEORGIA REGISTERED PROFESSIONAL ENGINEER TIMOTHY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

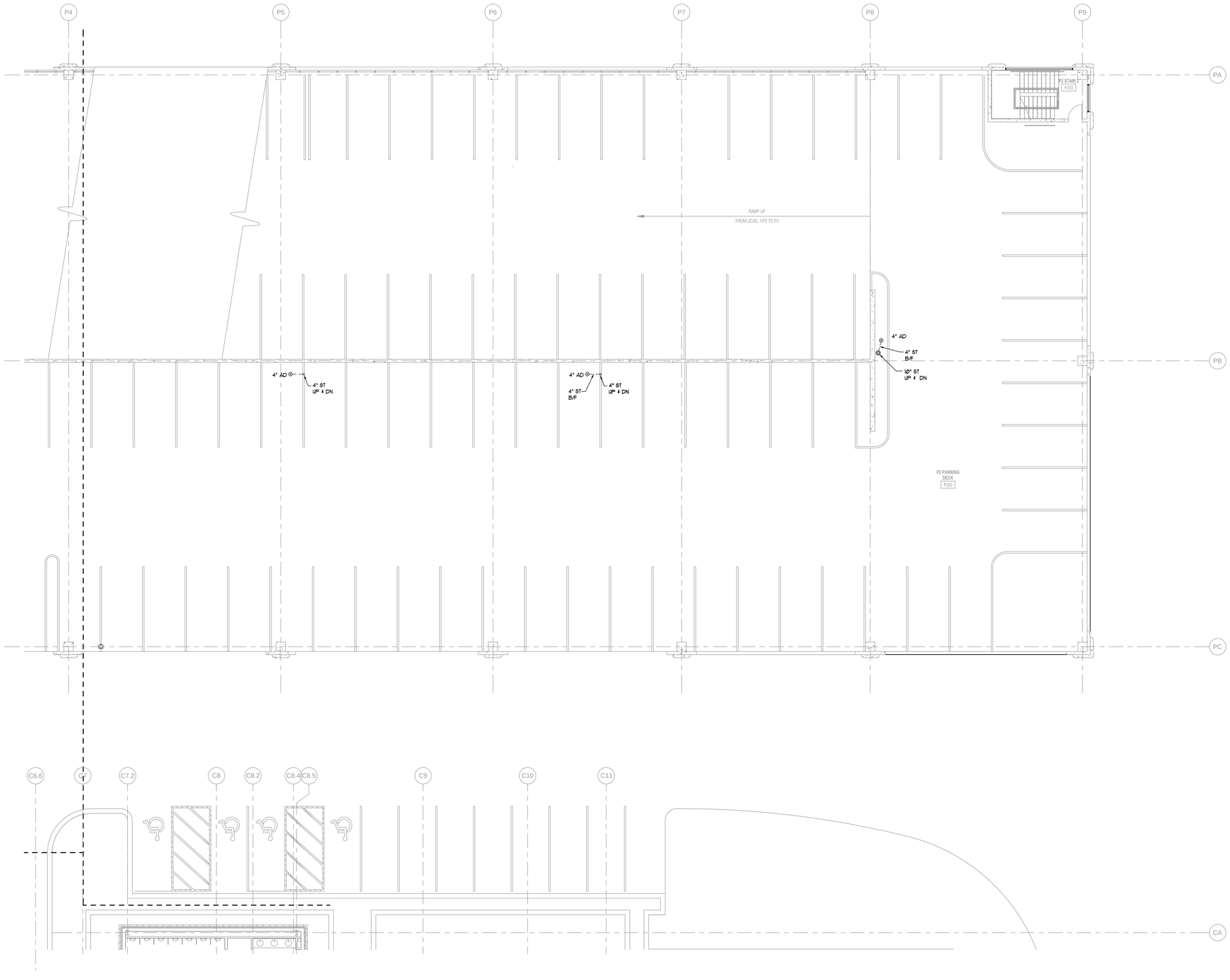
LEVEL P2
ZONE C
PLUMBING

K. PRICE	140028
Principals-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

P2.01C

Drawing No.

ISSUED FOR CONSTRUCTION



1 P2.01D LEVEL P2 ZONE D – PLUMBING

1/8" = 1'-0"

PROVIDE TRAFFIC RATED AREA DRAINS AS LOCATED ON ARCHITECTURAL PLANS

PROVIDE DRY STANDPIPES PER NFPA 14/88A.

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Fax (770) 810-8808

GEORGIA REGISTERED PROFESSIONAL ENGINEER GREGORY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

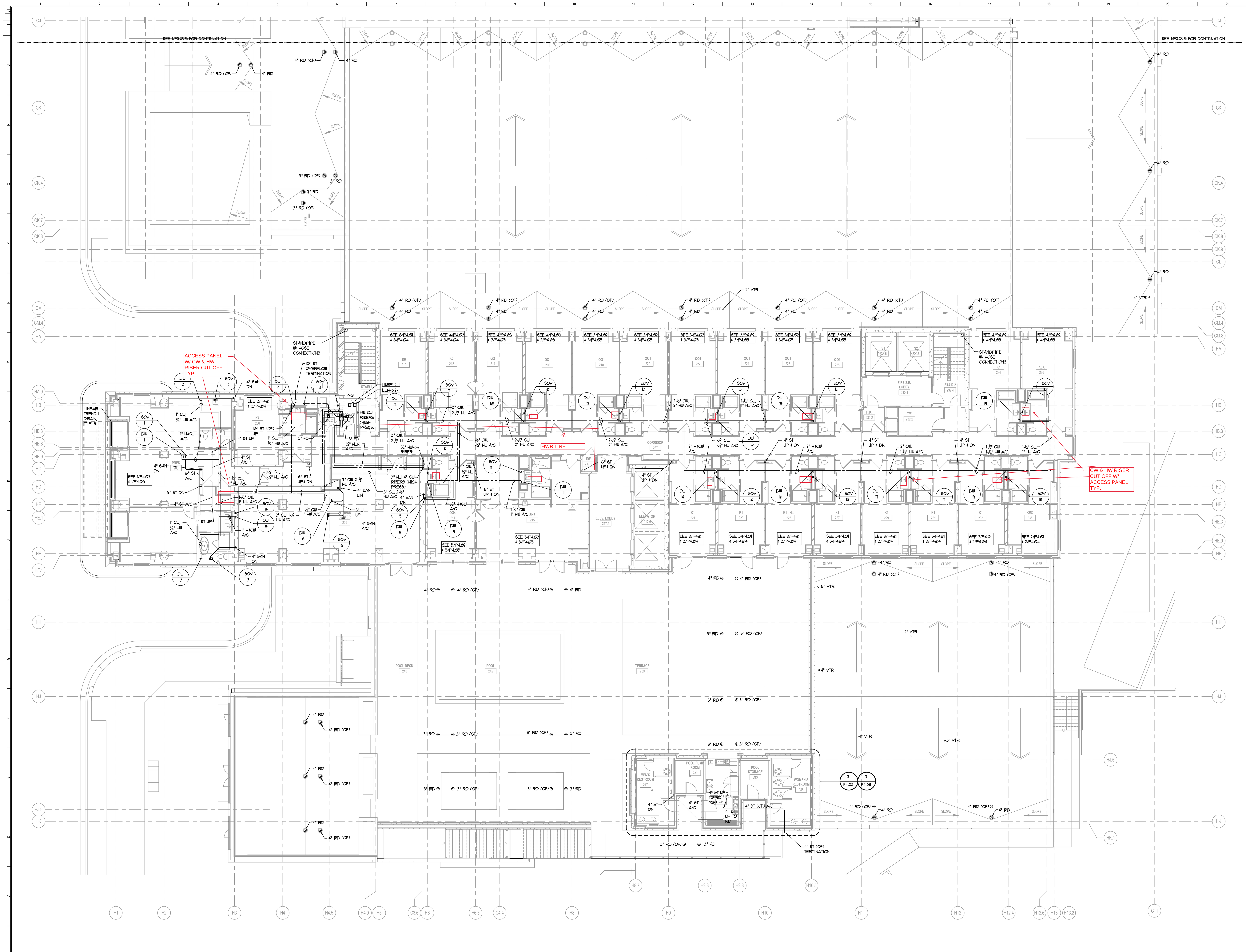
LEVEL P2
ZONE D
PLUMBING

K. PRICE Principal-in-Charge	140028 BW&A Project No.
G. JENKINS Project Engineer	10/17/16 Date
T. MERCER Drawn By	

P2.01D

Drawing No.

ISSUED FOR CONSTRUCTION



1 P2.02A LEVEL 2 ZONE A — PLUMBING
1/8" = 1'-0"

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Barrett, Woodyard & Associates, Inc
3495 Holcomb Bridge Road
Norcross, GA 30092
Phone (770) 810-8800
Fax (770) 810-8808

ISSUANCES

No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

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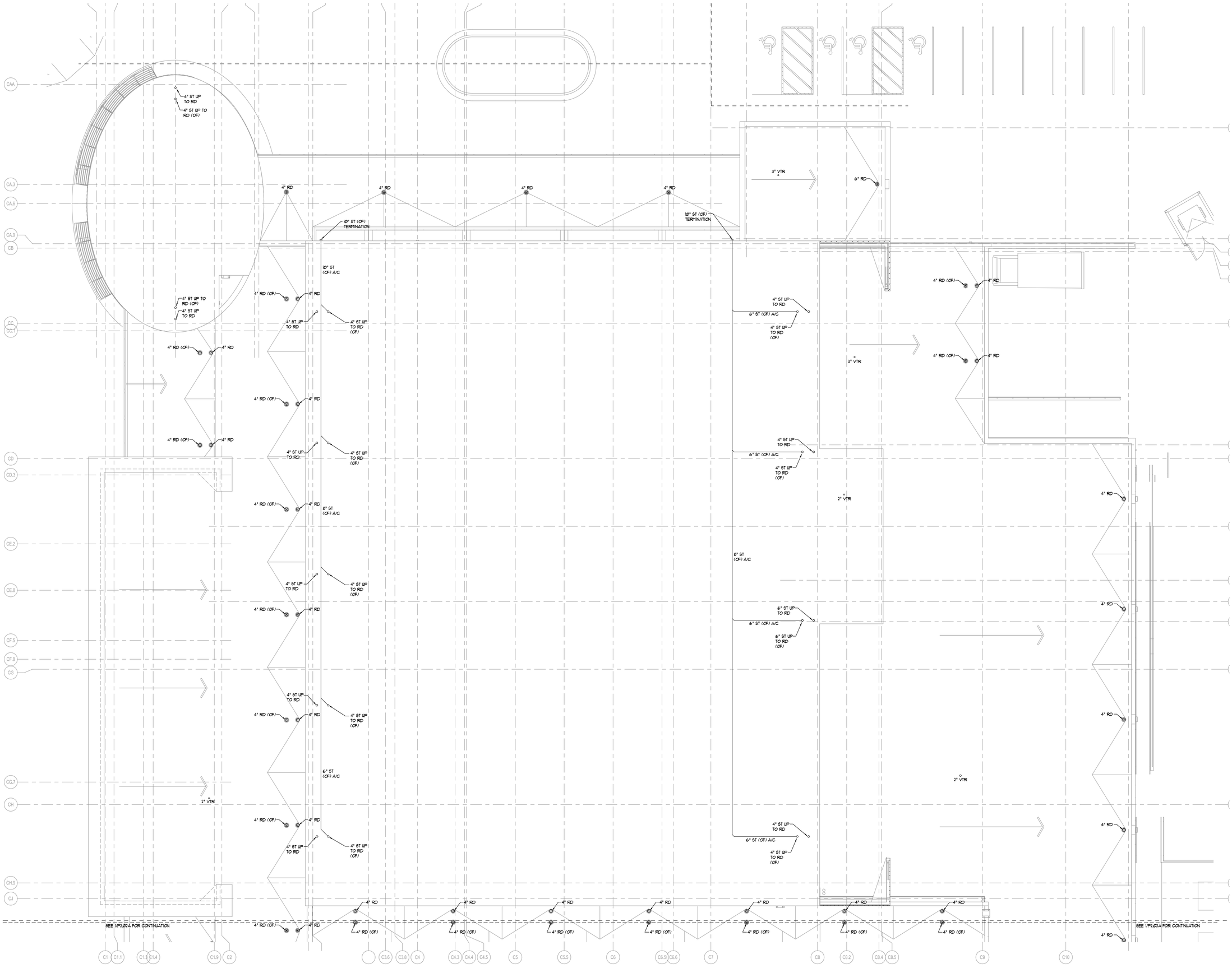
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

LEVEL 2 - ZONE A PLUMBING

K. PRICE (Principal-in-Charge)	140028 (BW&A Project No.)
G. JENKINS (Project Engineer)	10/17/16 (Date)
T. MERCER (Drawn By)	

P2.02A

ISSUED FOR CONSTRUCTION



1 P2.02B LEVEL 2 ZONE B – PLUMBING
1/8" = 1'-0"

BW&A
Barrett Woodyard & Associates, Inc
3495 Holcomb Bridge Road
Norcross, GA 30092
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Fax (770) 810-8808

GEORGIA REGISTERED PROFESSIONAL ENGINEER JEREMY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

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STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

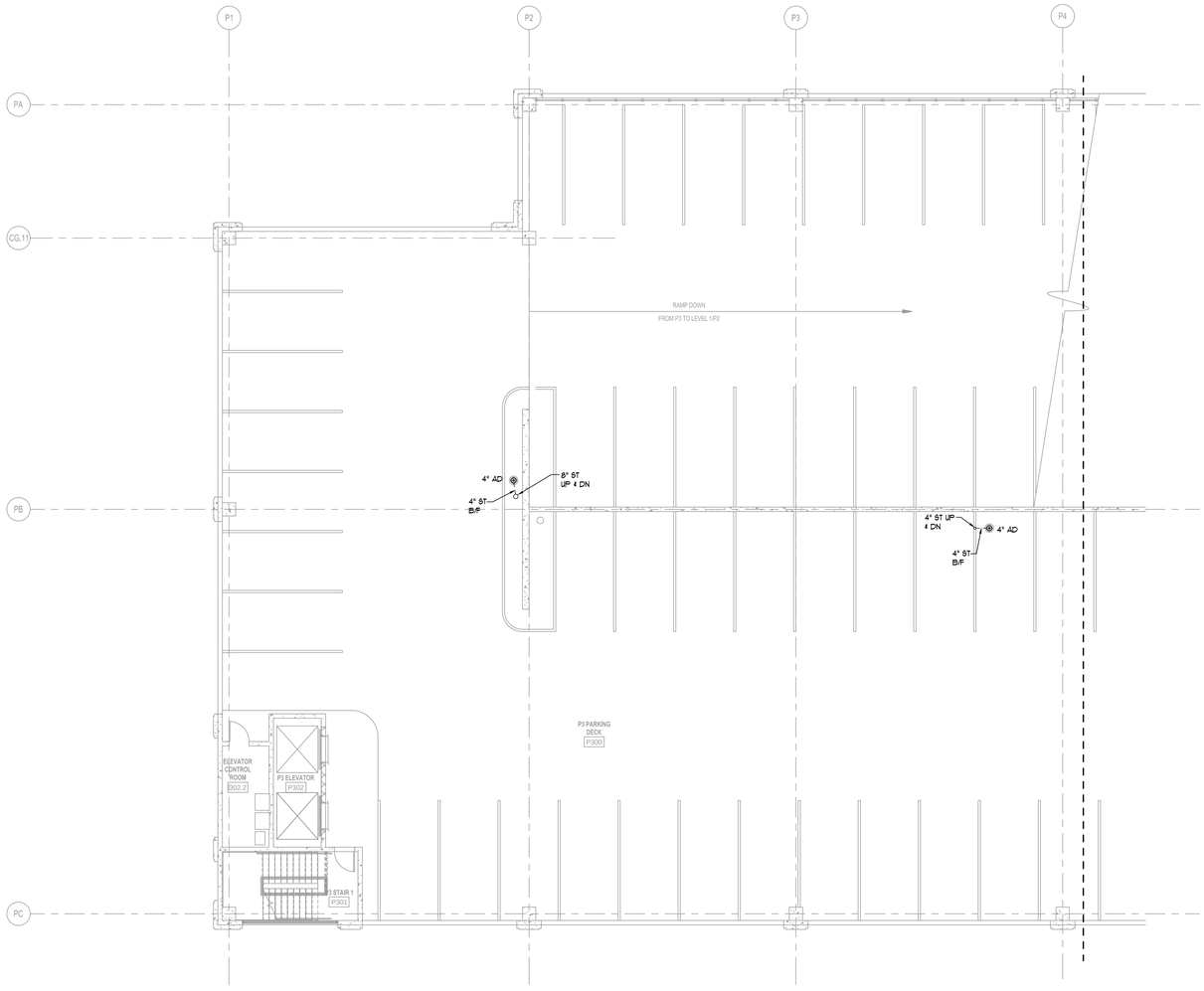
LEVEL 2 - ZONE B PLUMBING

K. PRICE Principal-in-Charge	140028 BW&A Project No.
G. JENKINS Project Engineer	10/17/16 Date
T. MERCER Drawn By	

P2.02B

Drawing No.

ISSUED FOR CONSTRUCTION



PROVIDE TRAFFIC RATED AREA DRAINS AS LOCATED ON ARCHITECTURAL PLANS

1 P2.02C LEVEL P3 ZONE C – PLUMBING
1/8"=1'-0"

PROVIDE DRY STANDPIPES PER NFPA 14/88A.

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Barrett Woodyard & Associates, Inc
3495 Holcomb Bridge Road
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GEORGIA REGISTERED PROFESSIONAL ENGINEER TIMOTHY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

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STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

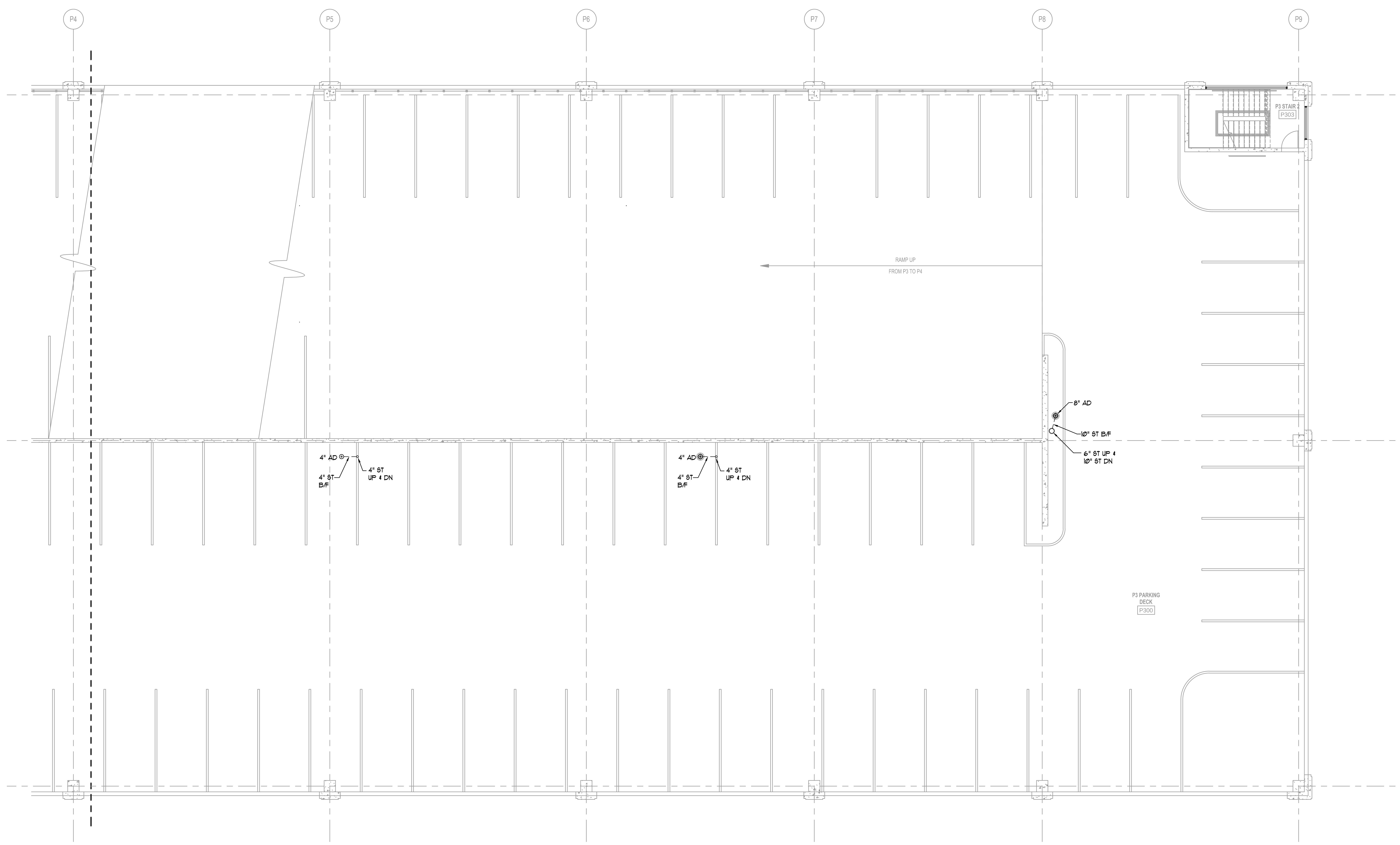
LEVEL P3
ZONE C
PLUMBING

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

P2.02C

Drawing No.

ISSUED FOR CONSTRUCTION



PROVIDE TRAFFIC RATED AREA DRAINS AS LOCATED ON ARCHITECTURAL PLANS

1 / P2.02D LEVEL P3 ZONE D — PLUMBING
1/8"=1'-0"

PROVIDE DRY STANDPIPES PER NFPA 14/88A.

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Norcross, GA 30092
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ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

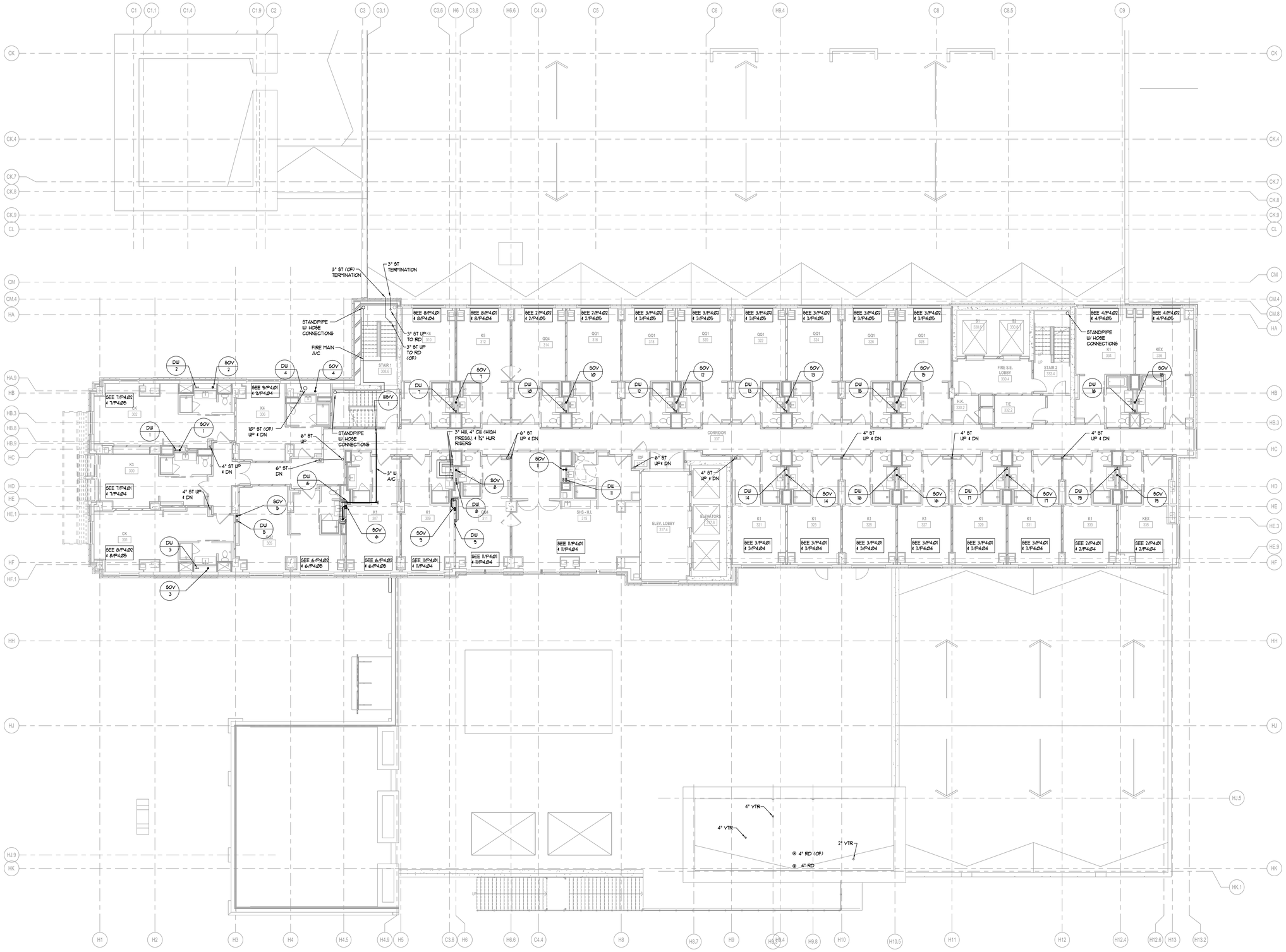
9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009
&
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

LEVEL P3
ZONE D
PLUMBING

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

P2.02D
Drawing No.

ISSUED FOR CONSTRUCTION



1 P2.03A LEVEL 3 ZONE A – PLUMBING
1/8" = 1'-0"

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Barrett Woodyard & Associates, Inc
3495 Holcomb Bridge Road
Norcross, GA 30092
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Fax (770) 810-8808

GEORGIA REGISTERED PROFESSIONAL ENGINEER TIMOTHY M. JENKINS

ISSUANCES

No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

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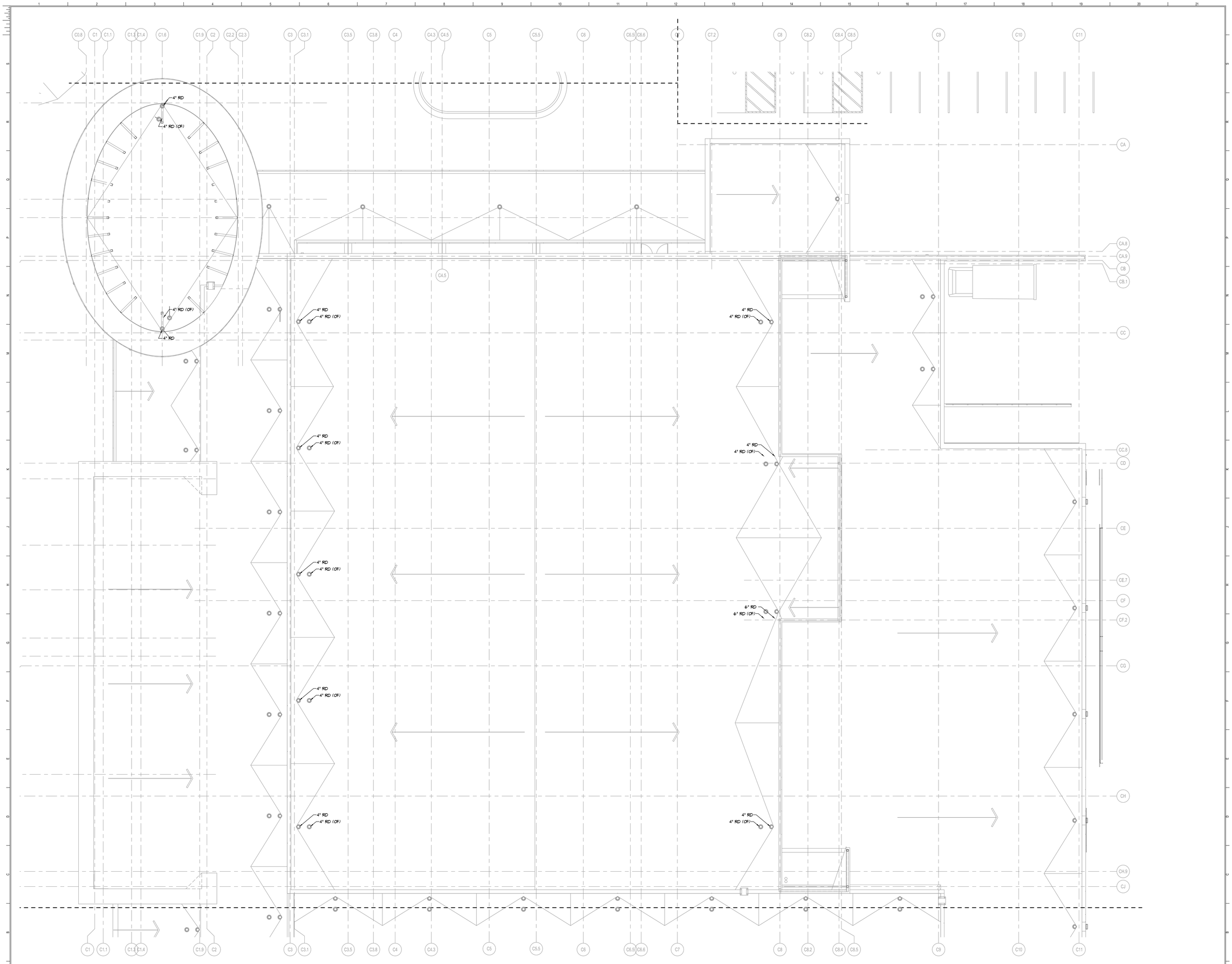
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

LEVEL 3 - ZONE A PLUMBING

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	
	P2.03A
	Drawing No.

ISSUED FOR CONSTRUCTION



1 P2.03B LEVEL 3 – ZONE B PLUMBING
1/8" = 1'-0"

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GEORGIA REGISTERED PROFESSIONAL ENGINEER GREGORY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD /
ALPHARETTA, GEORGIA 30009

STORMONT HOSPITALITY GROUP, LLC /
NORTH AMERICAN PROPERTY GROUP

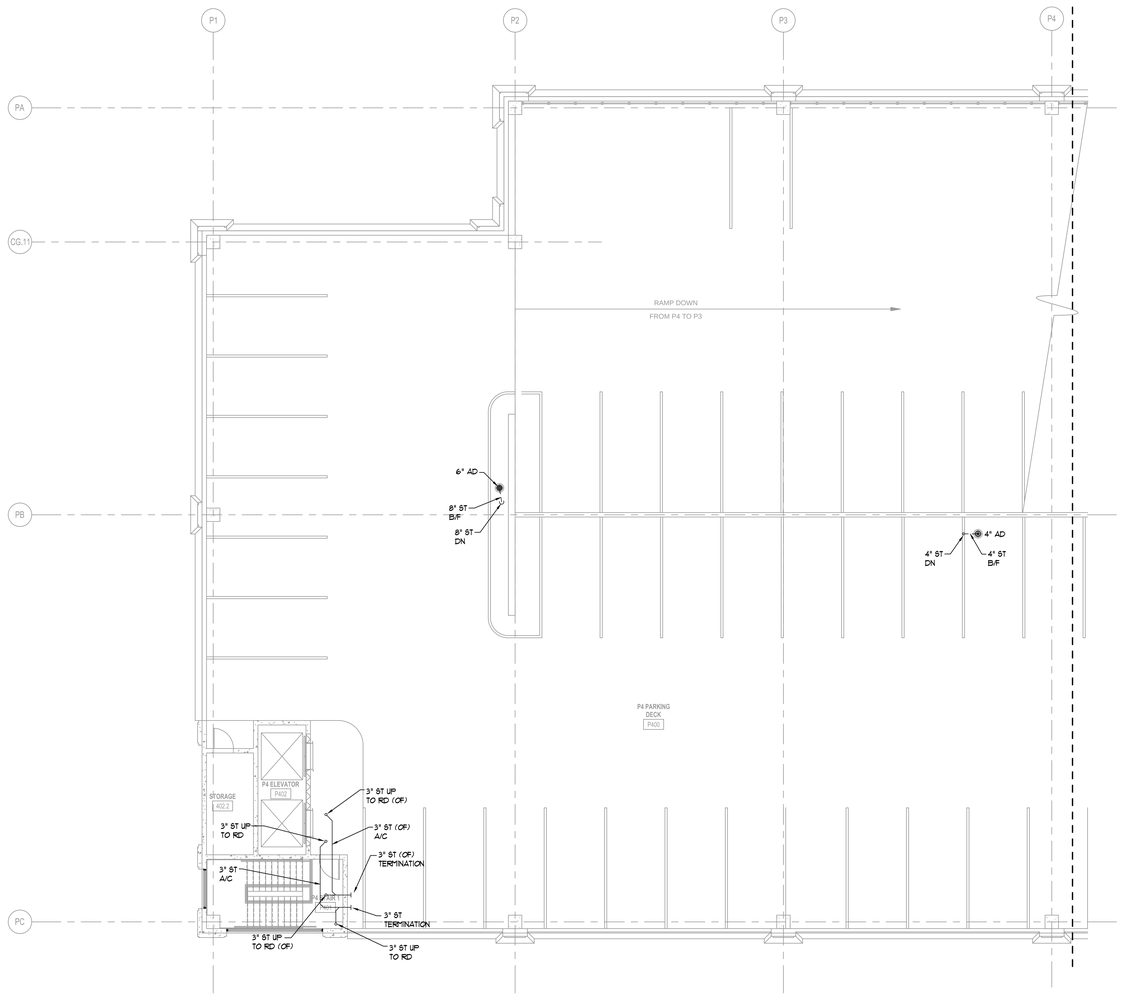
LEVEL 3 - ZONE B
PLUMBING

K. PRICE	140028
Principal/In-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

P2.03B

Drawing No.

ISSUED FOR CONSTRUCTION



PROVIDE TRAFFIC RATED AREA DRAINS AS LOCATED ON ARCHITECTURAL PLANS

1 / P2.03C LEVEL P4 ZONE C – PLUMBING

1/8"=1'-0"

PROVIDE DRY STANDPIPES PER NFPA 14/88A.

BW&A

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Norcross, GA 30092
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Fax (770) 810-8808

GEORGIA Registered Professional Engineer JEREMY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD /
ALPHARETTA, GEORGIA 30009

STORMONT HOSPITALITY GROUP, LLC /
NORTH AMERICAN PROPERTY GROUP

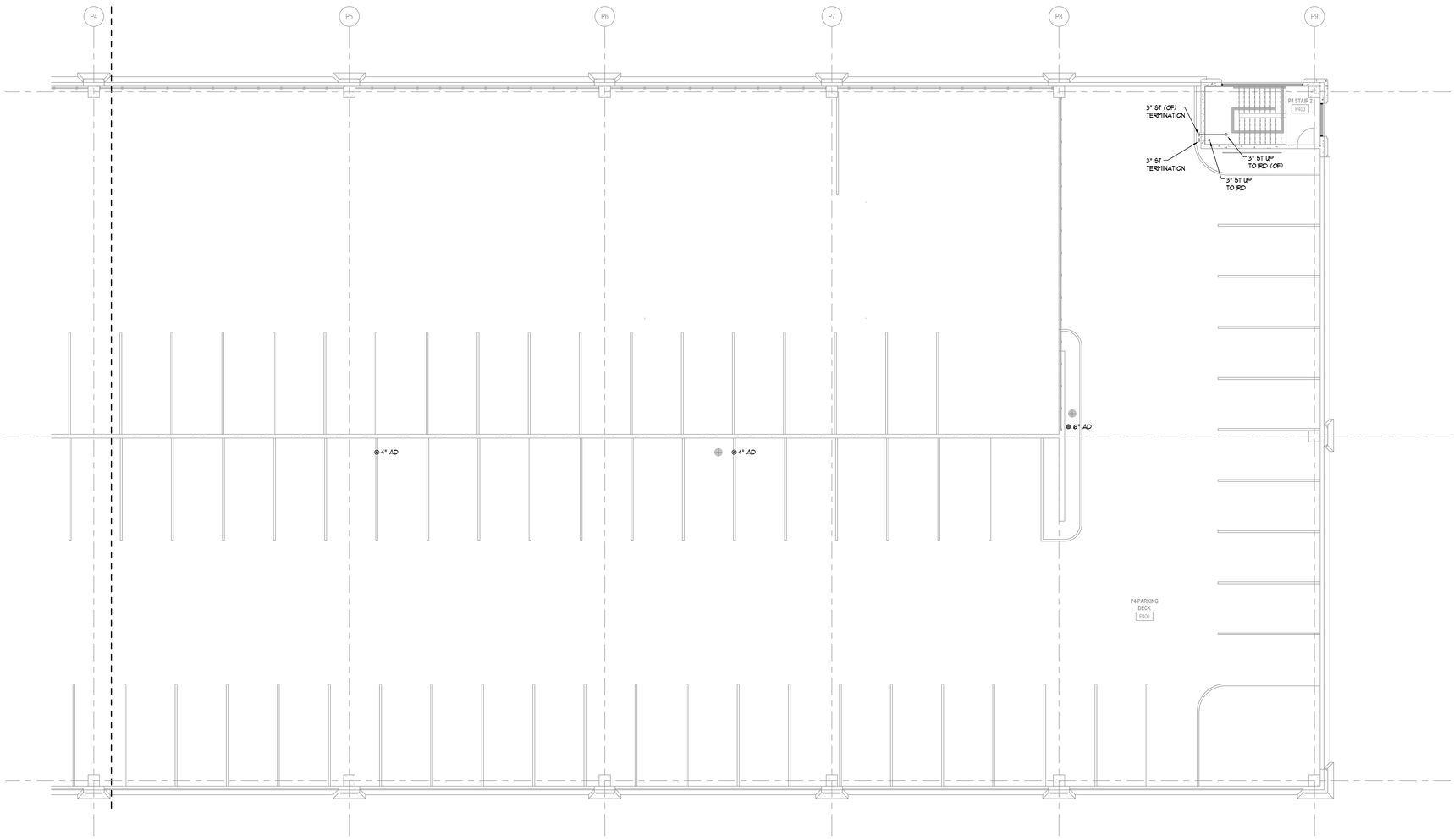
LEVEL P4
ZONE C
PLUMBING

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

P2.03C

Drawing No.

ISSUED FOR CONSTRUCTION



PROVIDE TRAFFIC RATED AREA DRAINS AS LOCATED ON ARCHITECTURAL PLANS

1 / P2.03D — LEVEL P4 ZONE D – PLUMBING

1/8"=1'-0"

PROVIDE DRY STANDPIPES PER NFPA 14/88A

BW&A

Barrett Woodyard & Associates, Inc

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Norcross, GA 30092
Phone (770) 810-8800
Fax (770) 810-8808

GEORGIA REGISTERED PROFESSIONAL ENGINEER JEREMY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

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STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

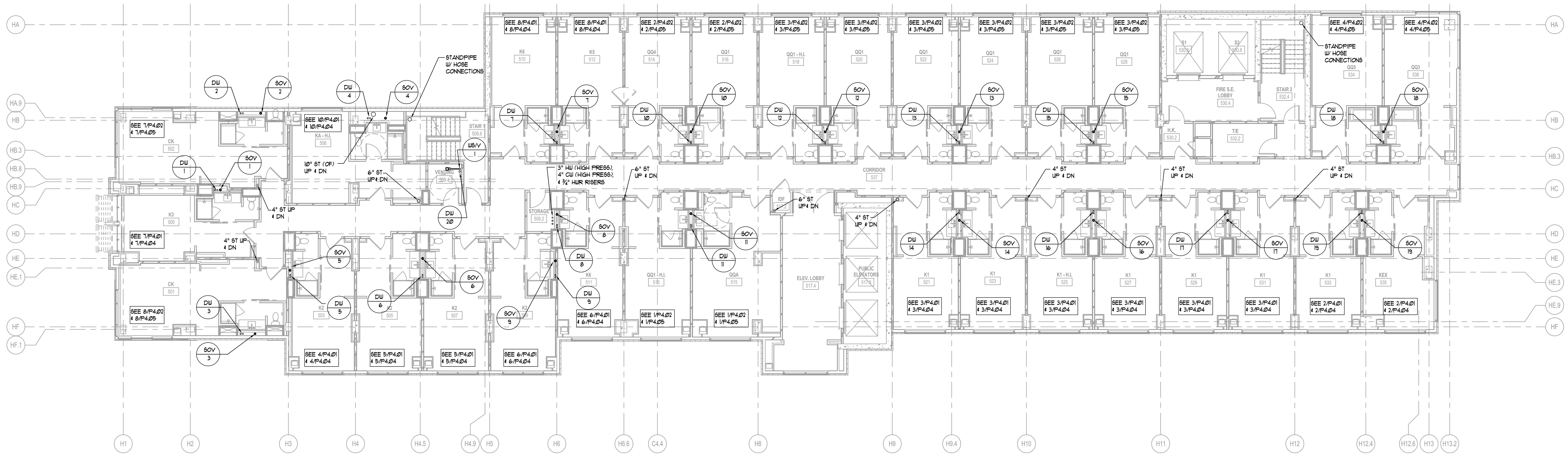
LEVEL P4
ZONE D
PLUMBING

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

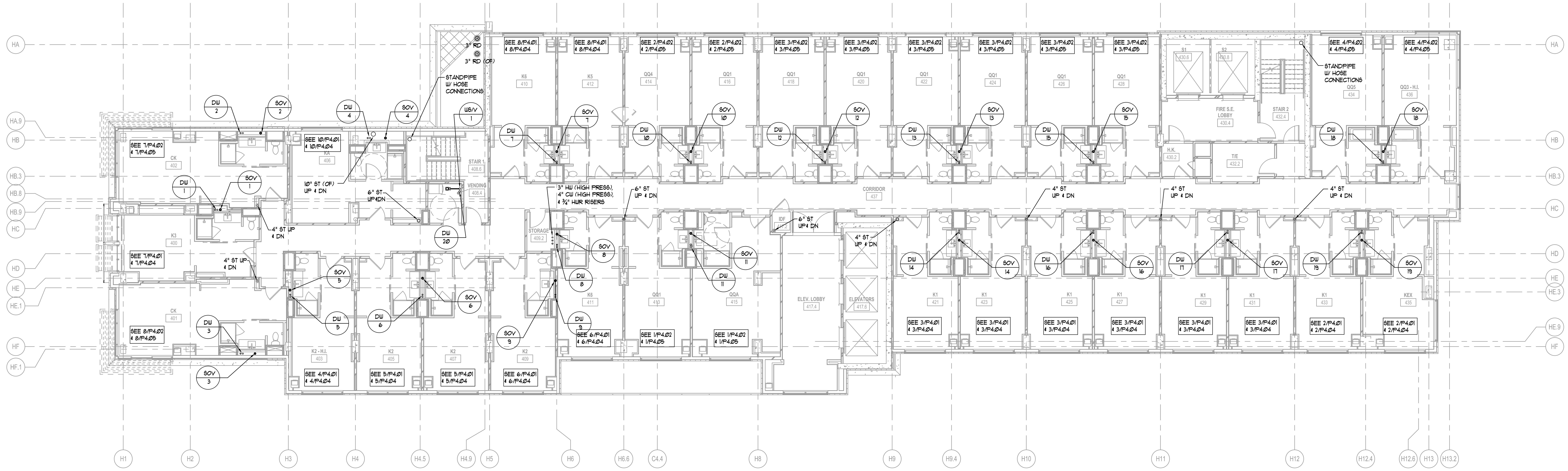
P2.03D

Drawing No.

ISSUED FOR CONSTRUCTION



2 / P2.04 LEVEL 5 GUESTROOMS – PLUMBING
1/8" = 1'-0"



1 / P2.04 LEVEL 4 GUESTROOMS – PLUMBING
1/8" = 1'-0"

Barrett, Woodyard & Associates, Inc
3495 Holcomb Bridge Road
Norcross, GA 30092
Phone (770) 810-8800
Fax (770) 810-8808

GEORGIA REGISTERED No. 032221 PROFESSIONAL ENGINEER GARRY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

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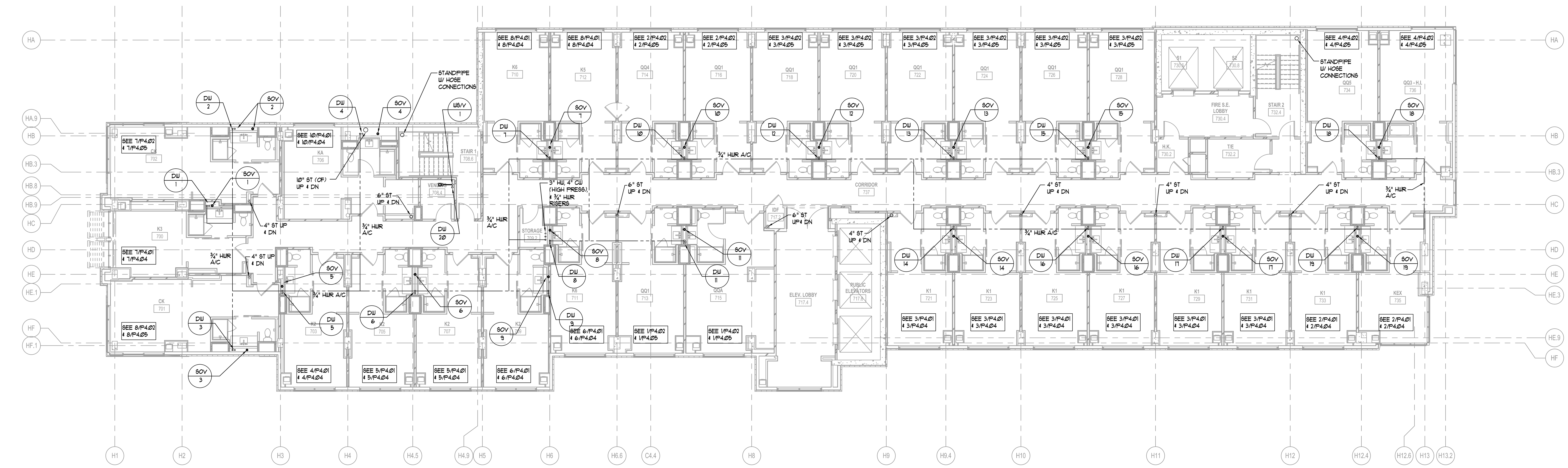
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

LEVEL 4 & 5 GUESTROOMS PLUMBING

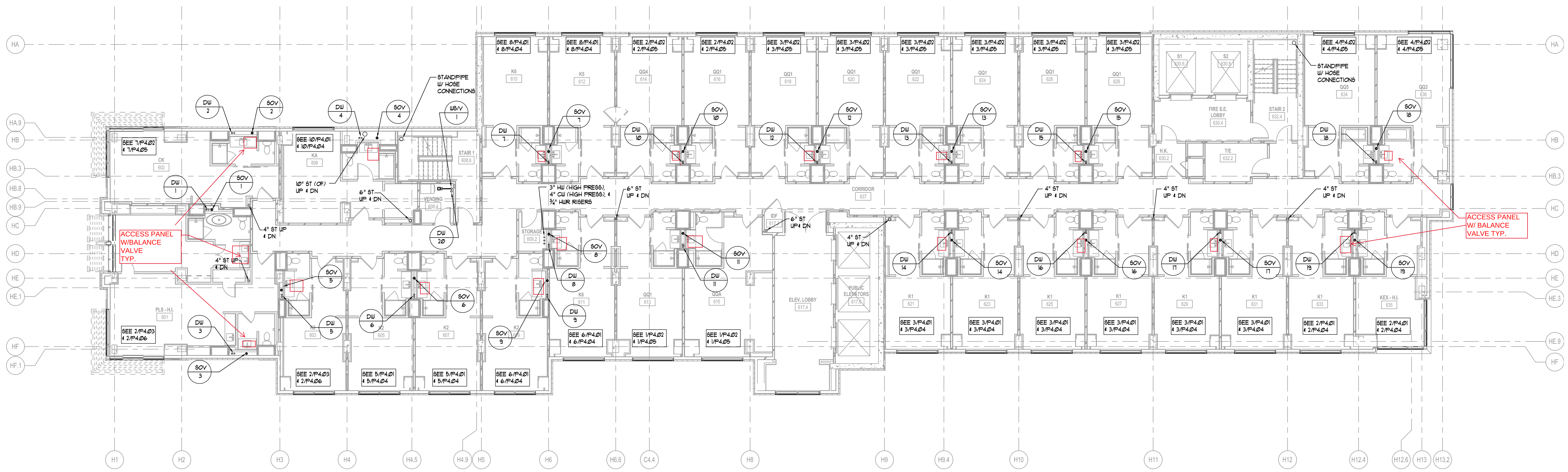
K. PRICE Principal-in-Charge	140028 BW&A Project No.
G. JENKINS Project Engineer	10/17/16 Date
T. MERCER Drawn By	

P2.04
Drawing No.

ISSUED FOR CONSTRUCTION



2 P2.06 LEVEL 7 GUESTROOMS – PLUMBING
1/8" = 1'-0"



1 P2.06 LEVEL 6 GUESTROOMS – PLUMBING
1/8" = 1'-0"

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Norcross, GA 30092
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Fax (770) 810-8808

ISSUANCES

No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

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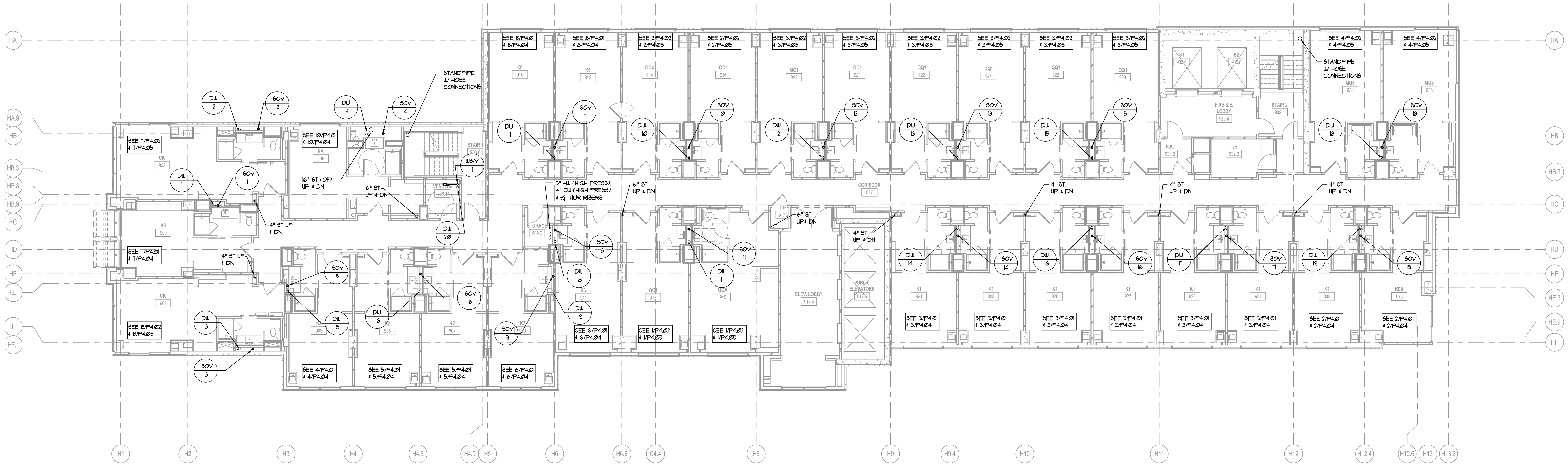
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

LEVEL 6 & 7 GUESTROOMS PLUMBING

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

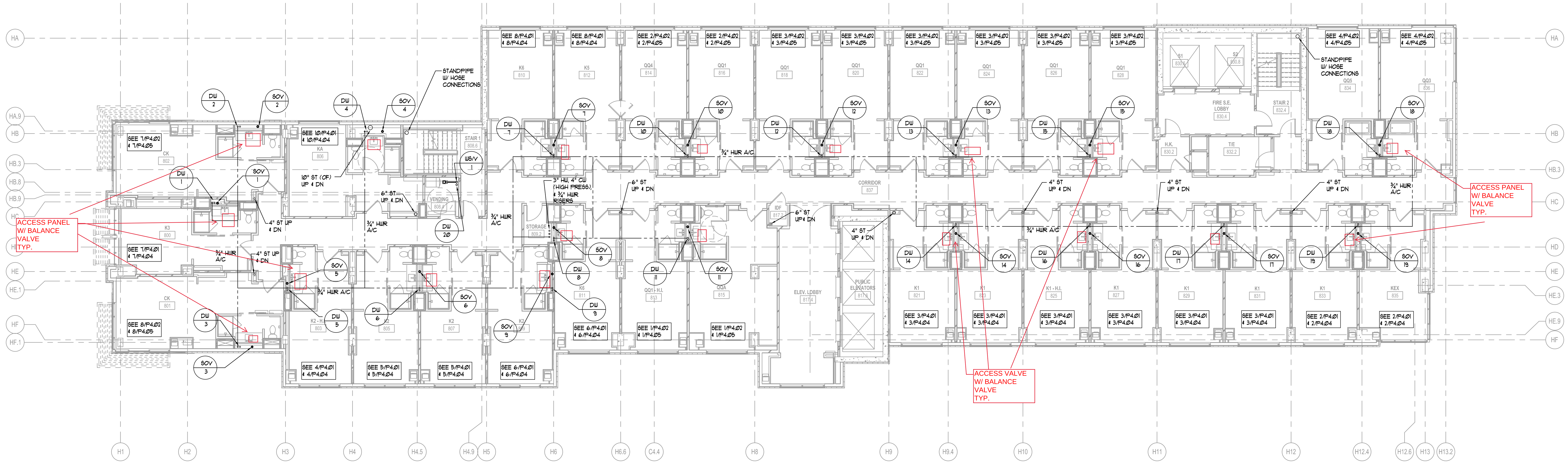
P2.06
Drawing No.

ISSUED FOR CONSTRUCTION



LEVEL 9 GUESTROOMS – PLUMBING

2 / P2.08 — 1/8" = 1'-0"



LEVEL 8 GUESTROOMS – PLUMBING

1 / P2.08 — 1/8" = 1'-0"

BW&A
Barrett, Woodyard & Associates, Inc
3495 Holcomb Bridge Road
Norcross, GA 30092
Phone (770) 810-8800
Fax (770) 810-8808

ISSUANCES

No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

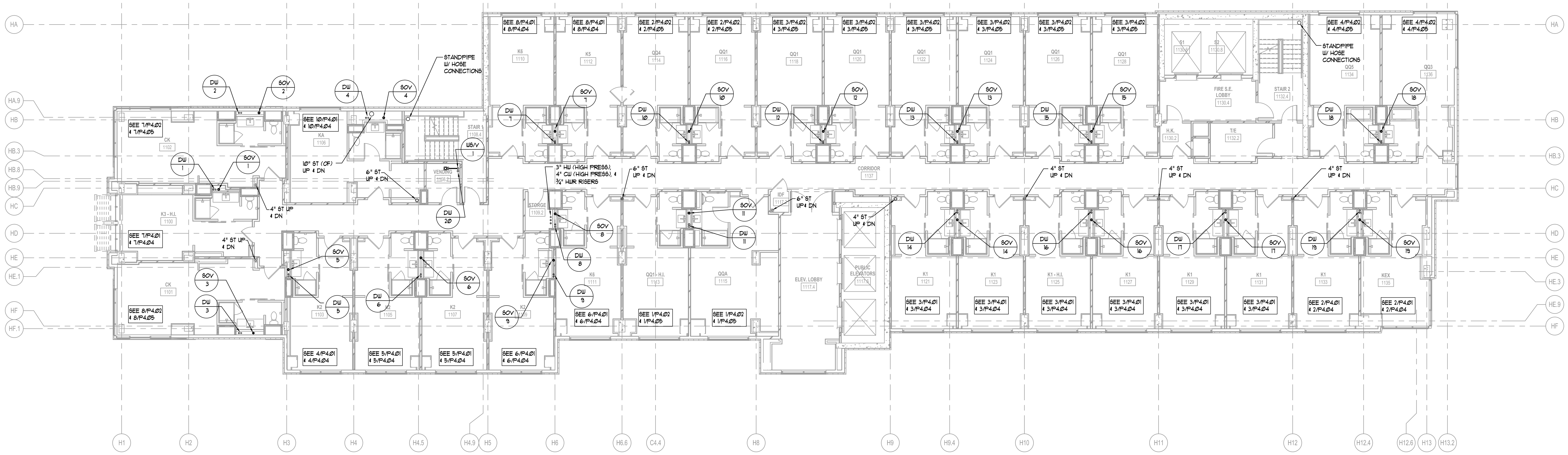
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

LEVEL 8 & 9 GUESTROOMS PLUMBING

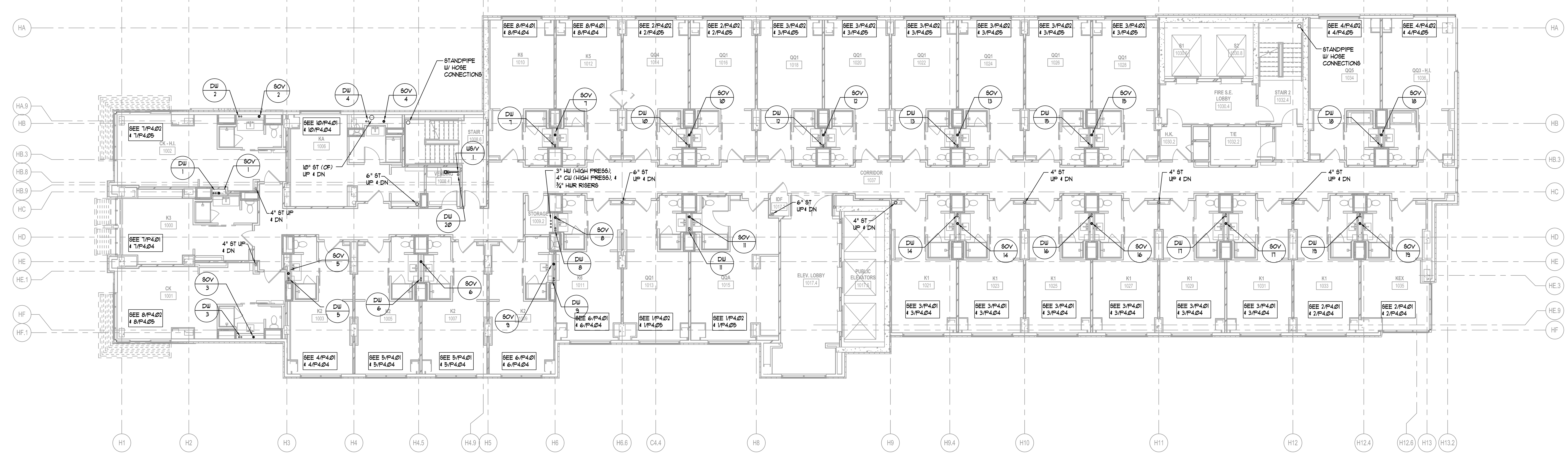
K. PRICE (Principal-in-Charge)	140028 (BW&A Project No.)
G. JENKINS (Project Engineer)	10/17/16 (Date)
T. MERCER (Drawn By)	

P2.08

ISSUED FOR CONSTRUCTION



2 / P2.10 — LEVEL 11 GUESTROOMS – PLUMBING
1/8" = 1'-0"



1 / P2.10 — LEVEL 10 GUESTROOMS – PLUMBING
1/8" = 1'-0"

BW&A
Barrett, Woodyard & Associates, Inc
3495 Holcomb Bridge Road
Norcross, GA 30092
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Fax (770) 810-8808

GEORGIA REGISTERED No. 032221 PROFESSIONAL ENGINEER GARRY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

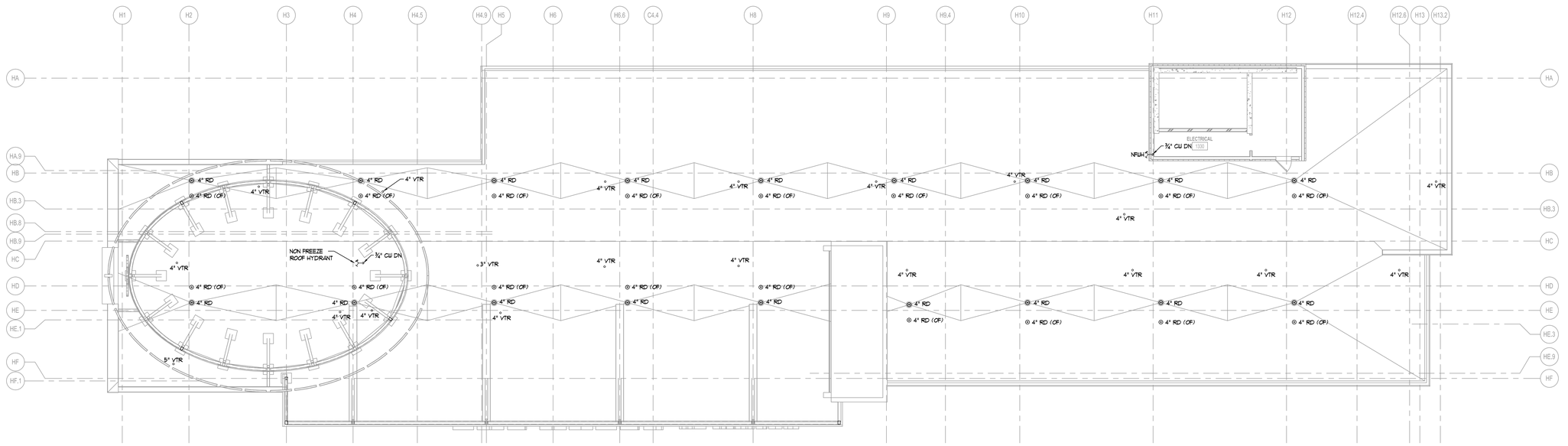
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

LEVEL 10 & 11 GUESTROOMS PLUMBING

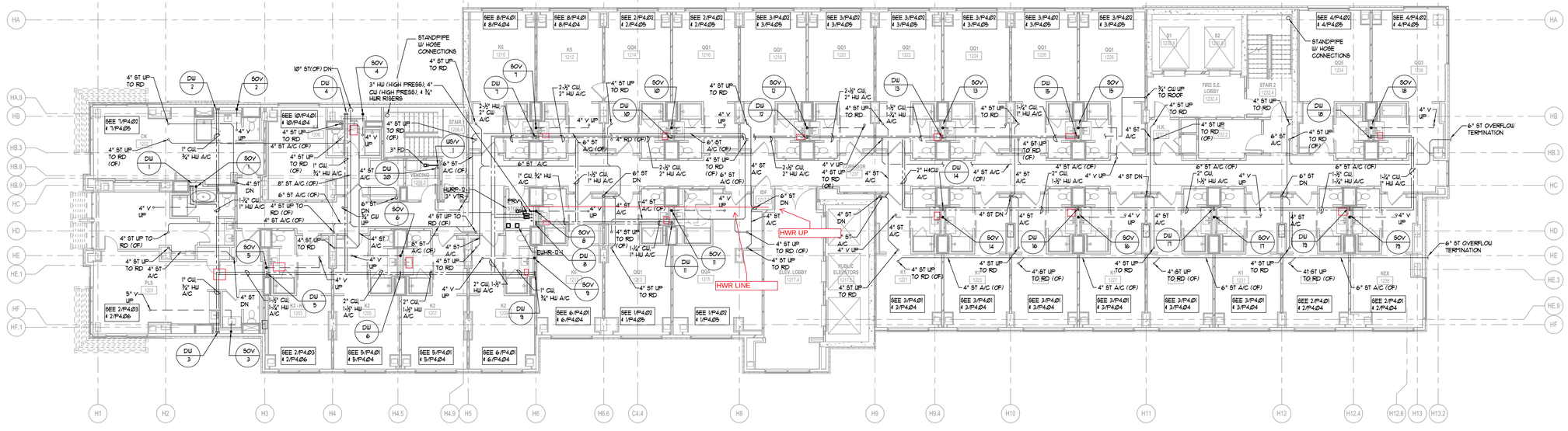
K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

Drawing No. P2.10

ISSUED FOR CONSTRUCTION



2 P2.12 LEVEL 13 ROOF – PLUMBING
1/8" = 1'-0"



1 P2.12 LEVEL 12 GUESTROOMS – PLUMBING
1/8" = 1'-0"

BW&A
Barrett Woodyard & Associates, Inc
3495 Holcomb Bridge Road
Norcross, GA 30092
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Fax (770) 810-8808

GEORGIA REGISTERED ARCHITECT JEREMY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

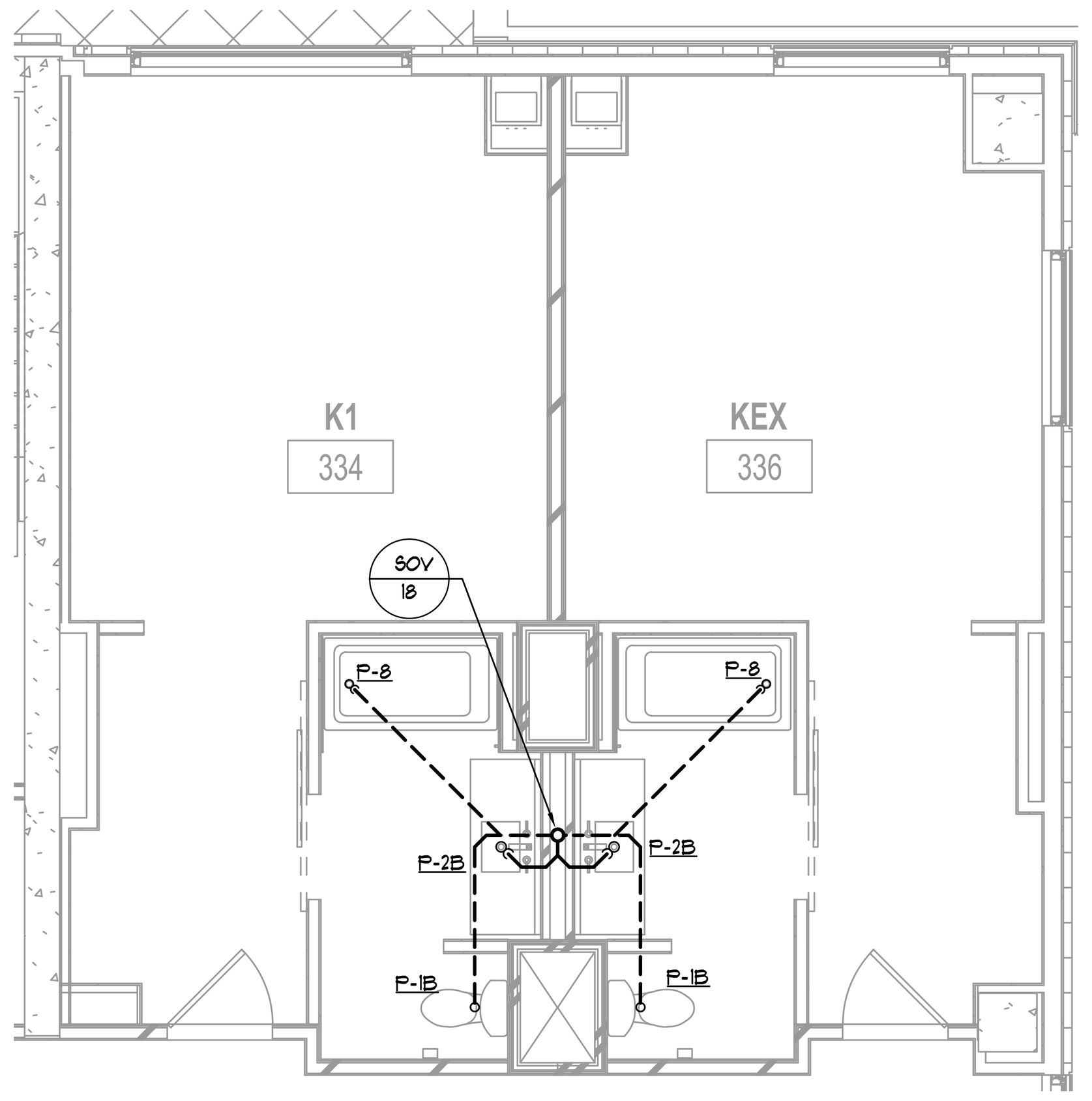
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

LEVEL 12 GUESTROOMS & ROOF PLUMBING

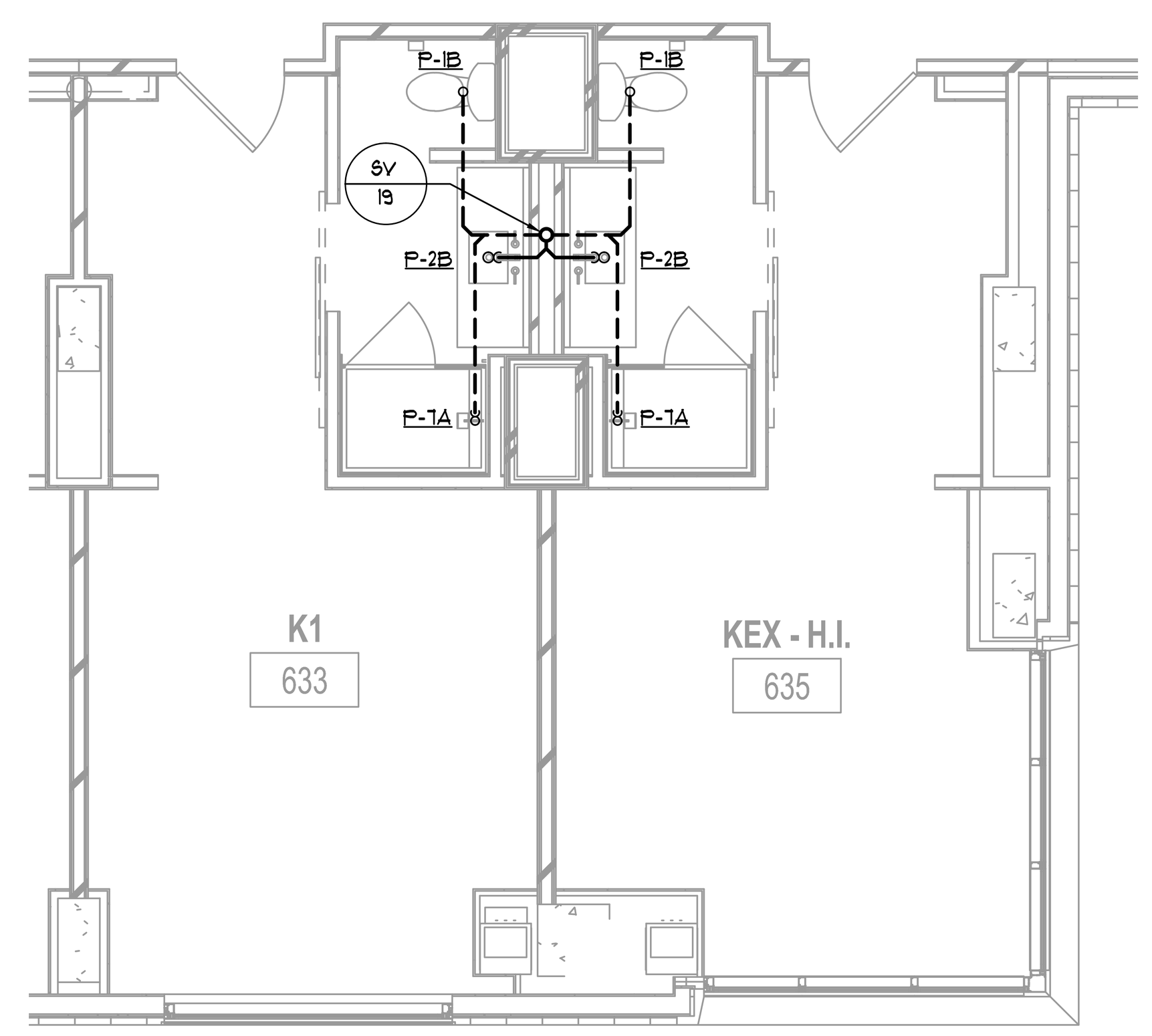
K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

P2.12
Drawing No.

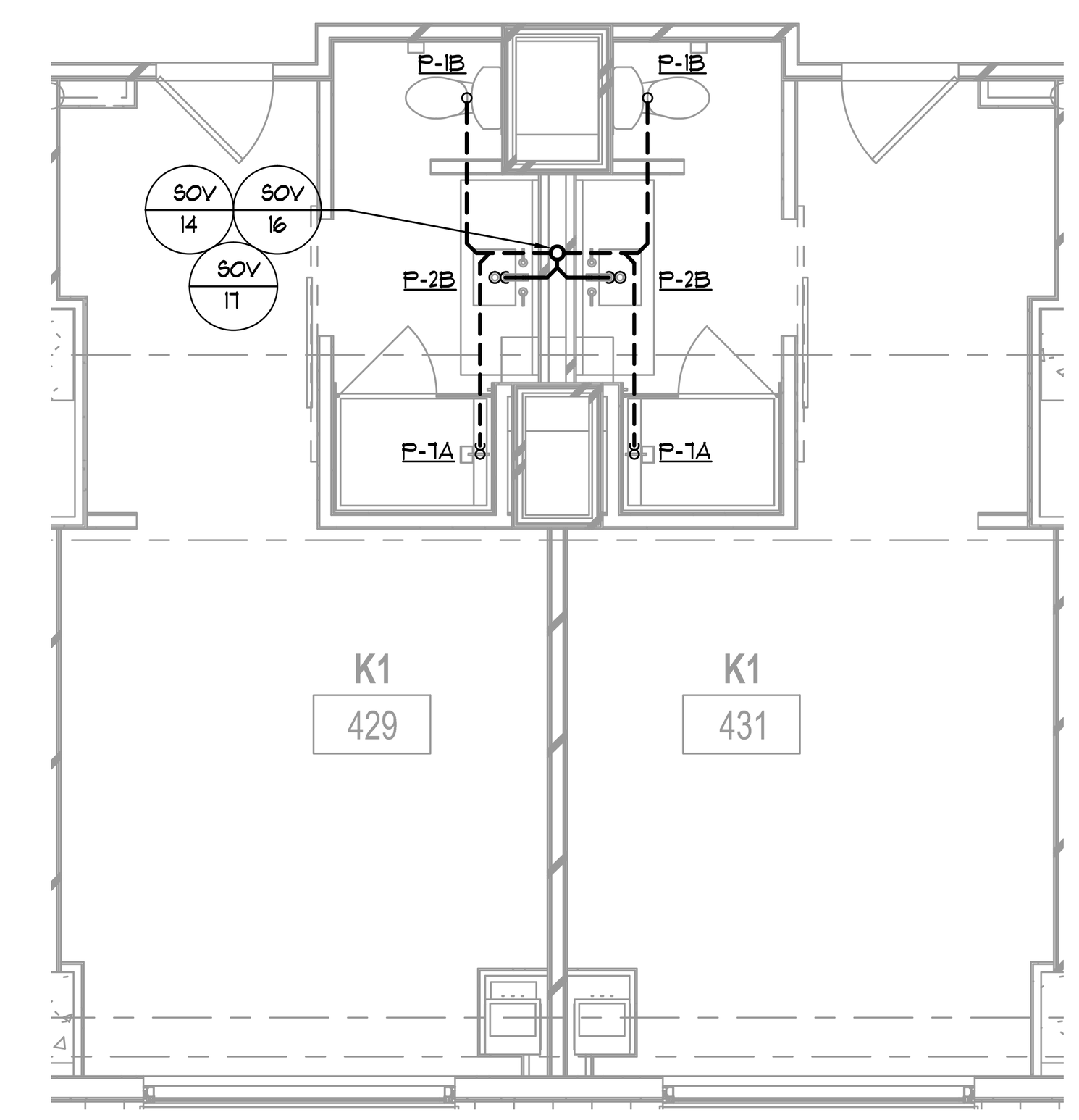
ISSUED FOR CONSTRUCTION



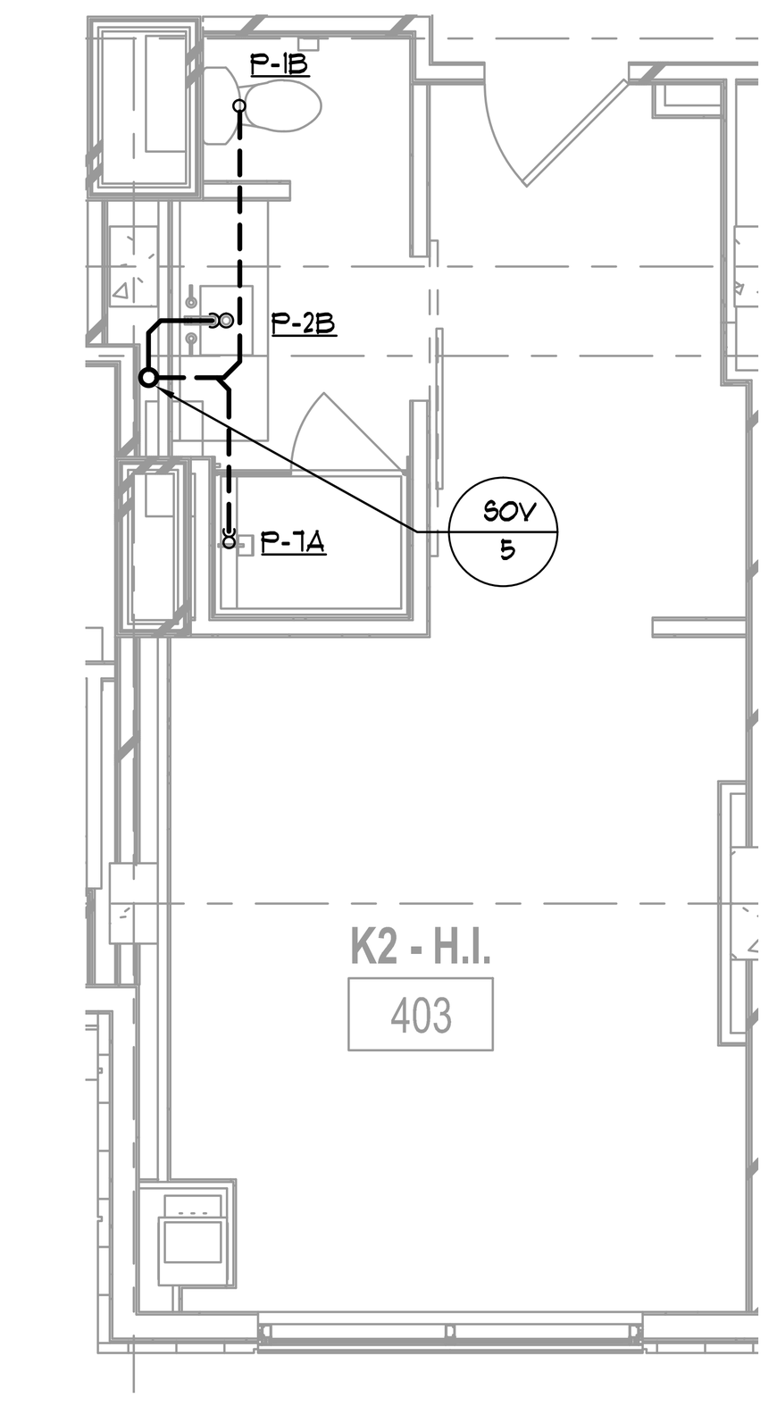
1 P4.01 K1/KEX PLAN – SANITARY & VENT
1/4" = 1'-0"



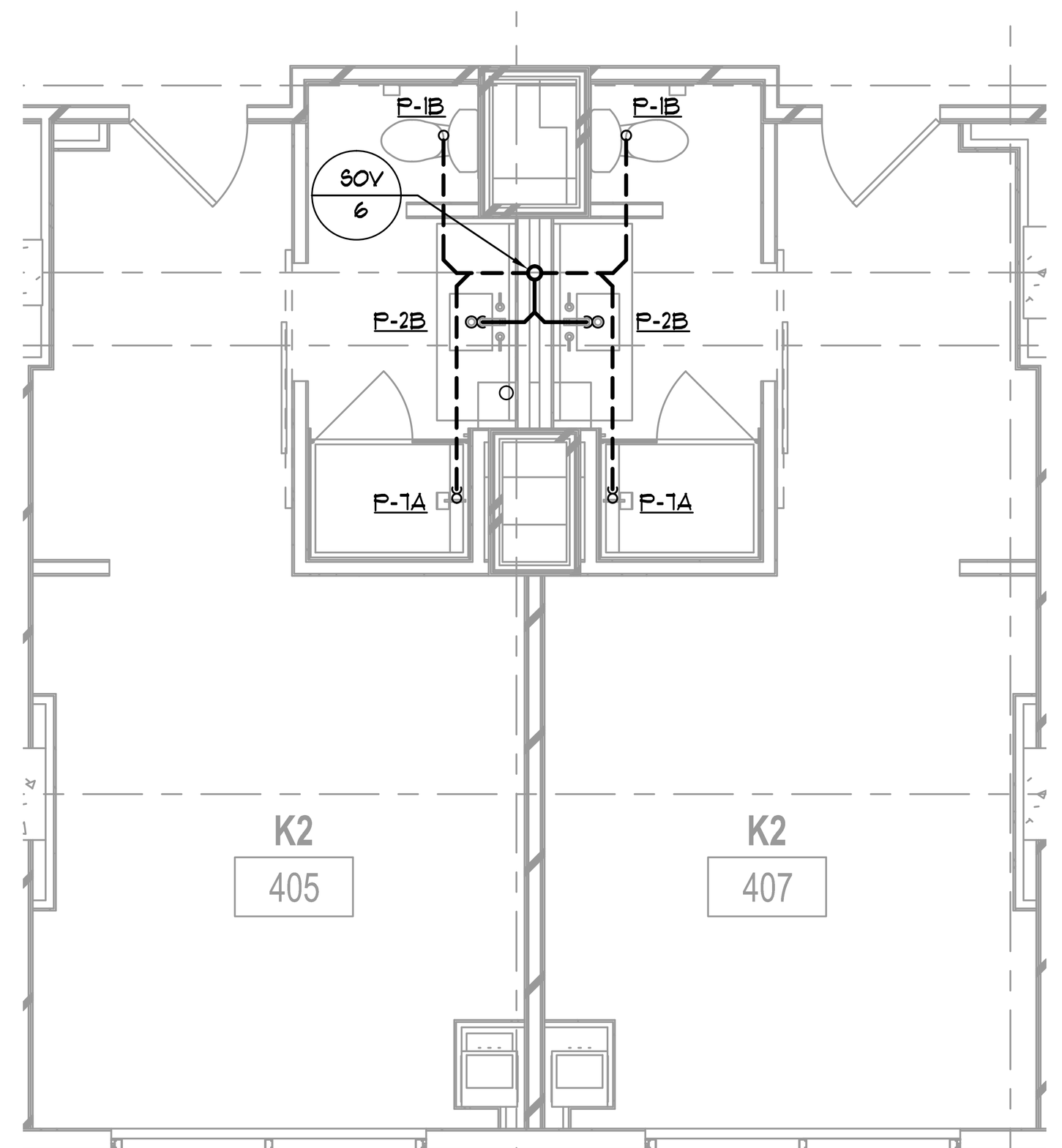
2 P4.01 K1/KEX PLAN – SANITARY & VENT
1/4" = 1'-0"



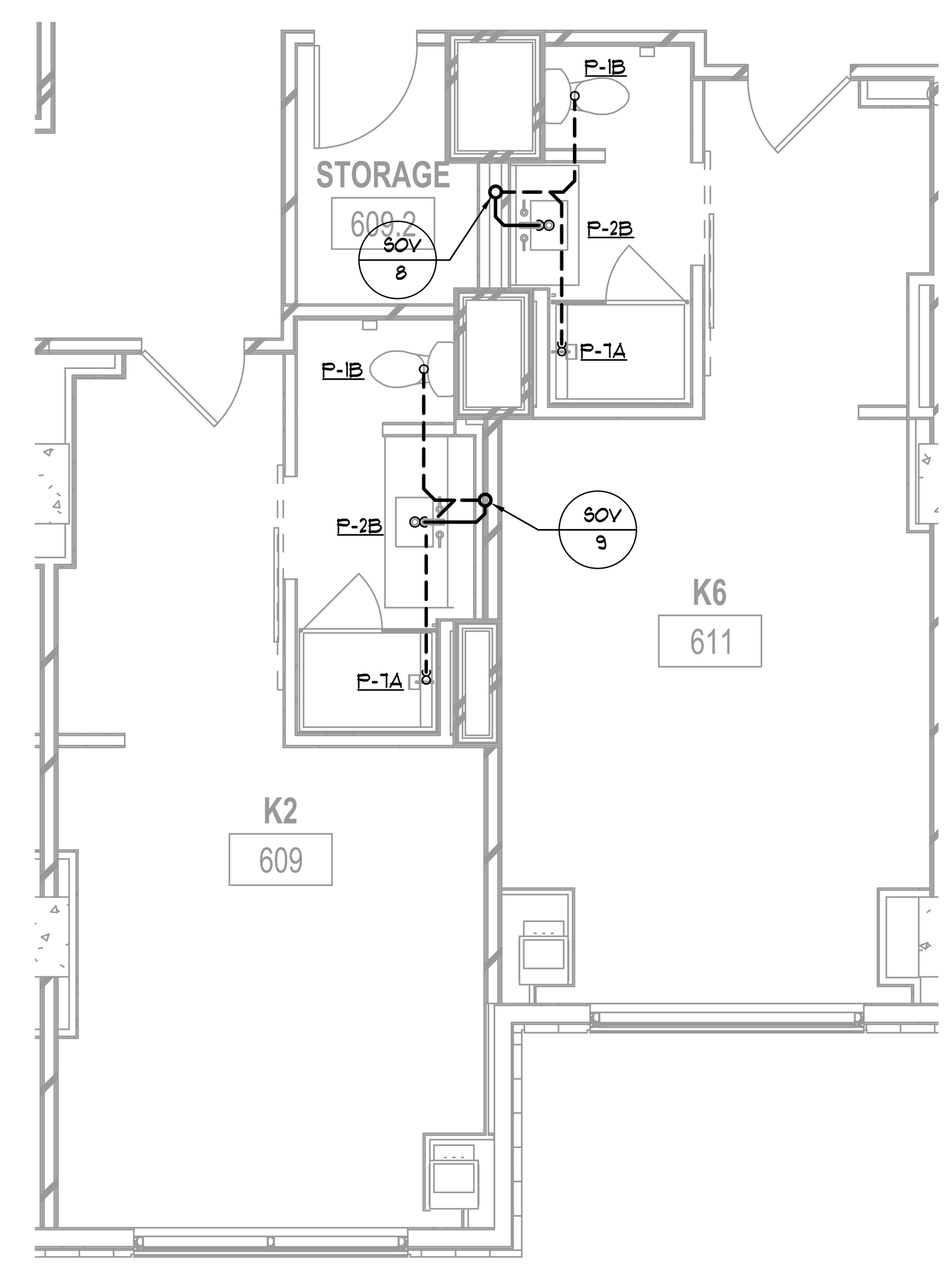
3 P4.01 K1/K1 PLAN (TYP.) – SANITARY & VENT
1/4" = 1'-0"



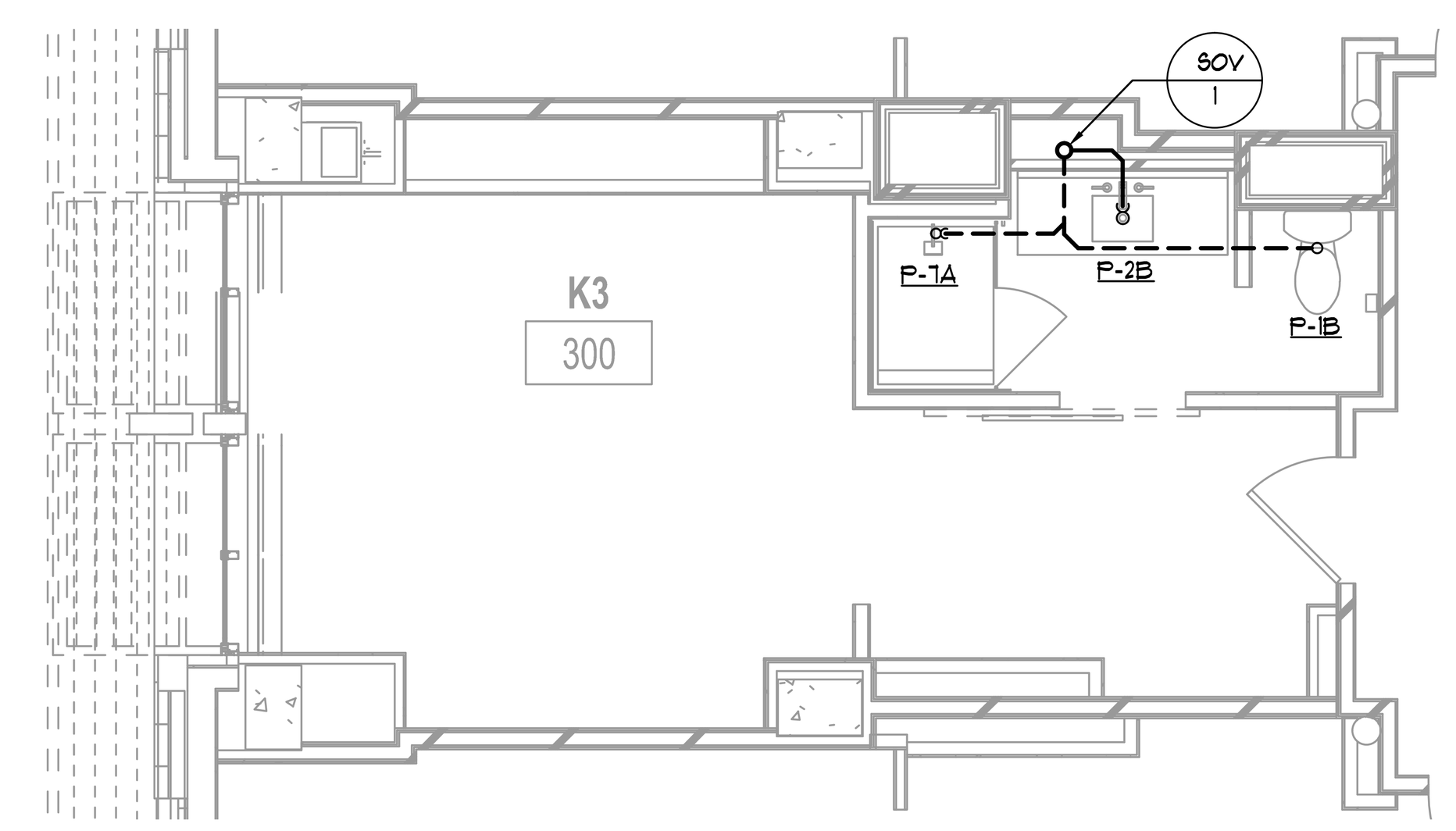
4 P4.01 K2 PLAN – SANITARY & VENT
1/4" = 1'-0"



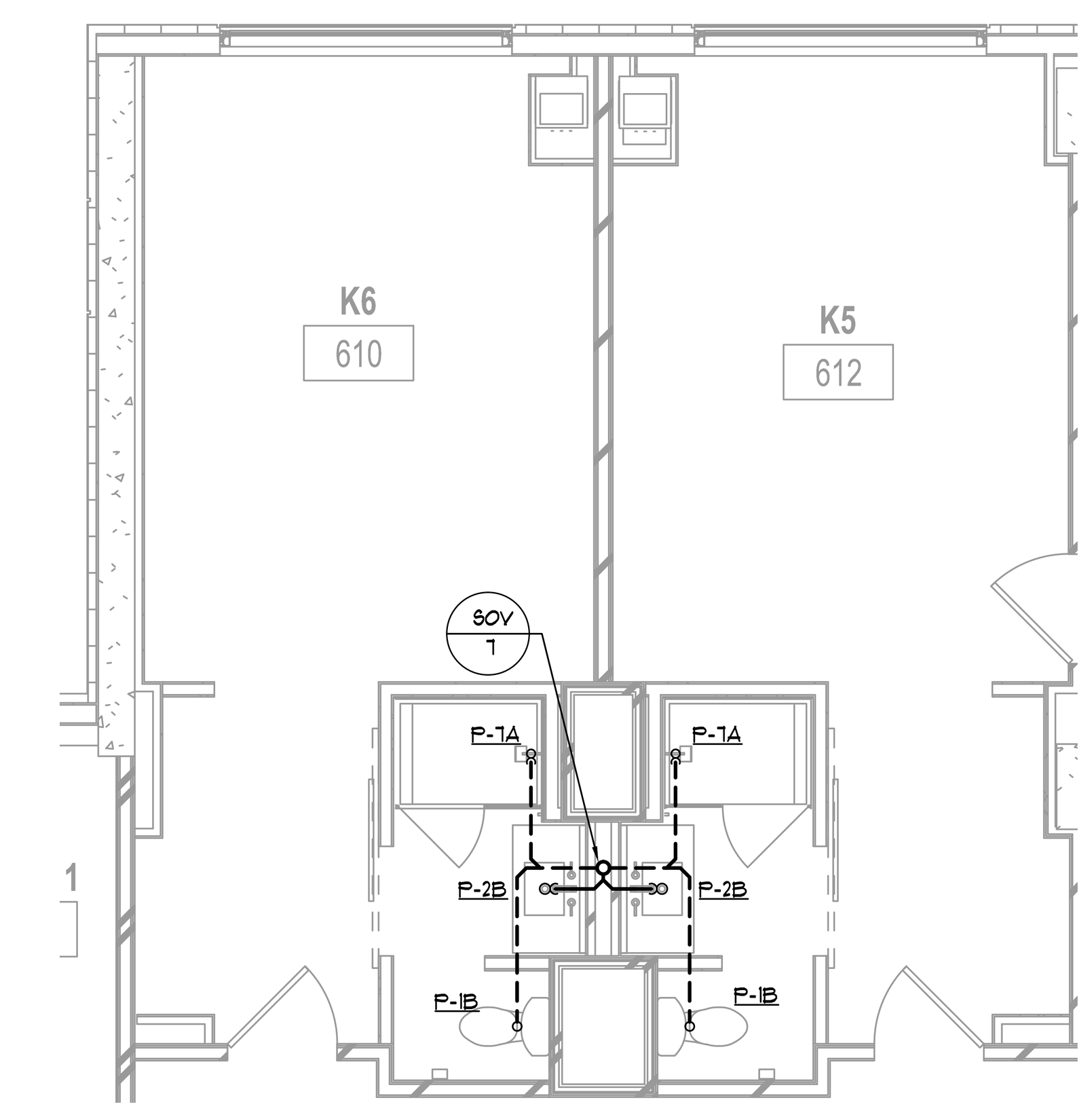
5 P4.01 K2 PLAN – SANITARY & VENT
1/4" = 1'-0"



6 P4.01 K2/K6 PLAN – SANITARY & VENT
1/4" = 1'-0"



7 P4.01 K3 PLAN – SANITARY & VENT
1/4" = 1'-0"



8 P4.01 K5/K6 PLAN – SANITARY & VENT
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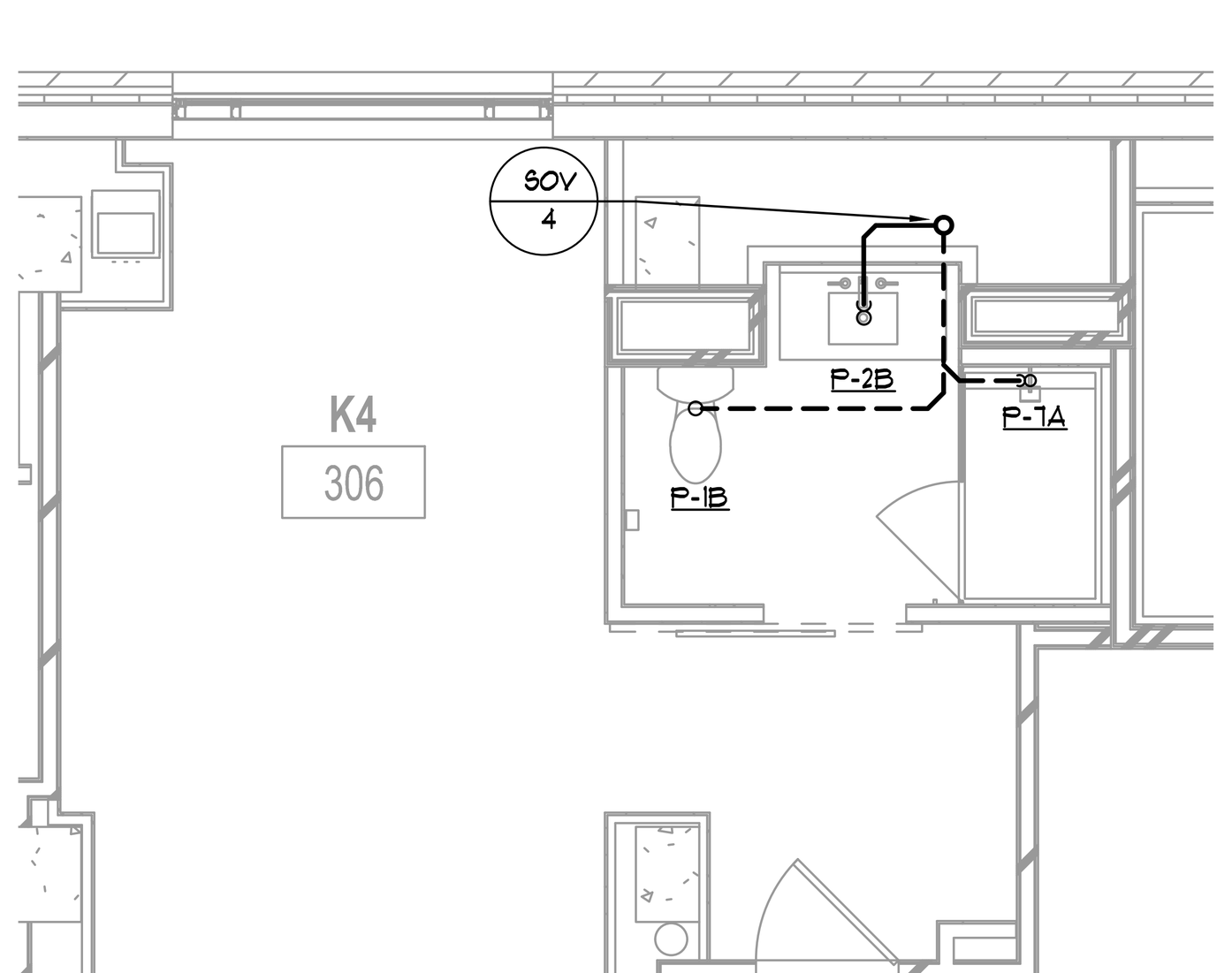

9 P4.01 K4 PLAN – SANITARY & VENT
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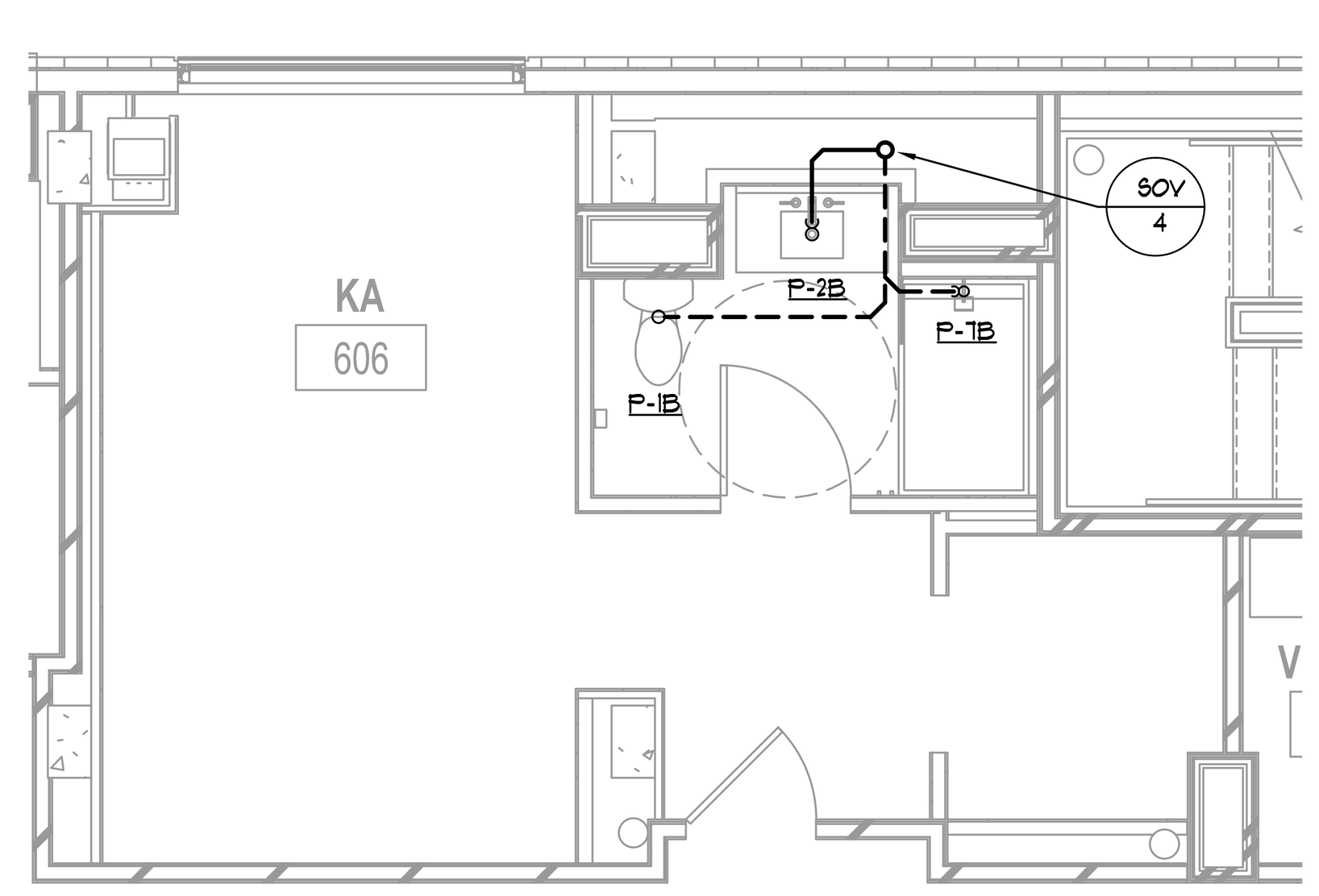

10 P4.01 KA PLAN – SANITARY & VENT
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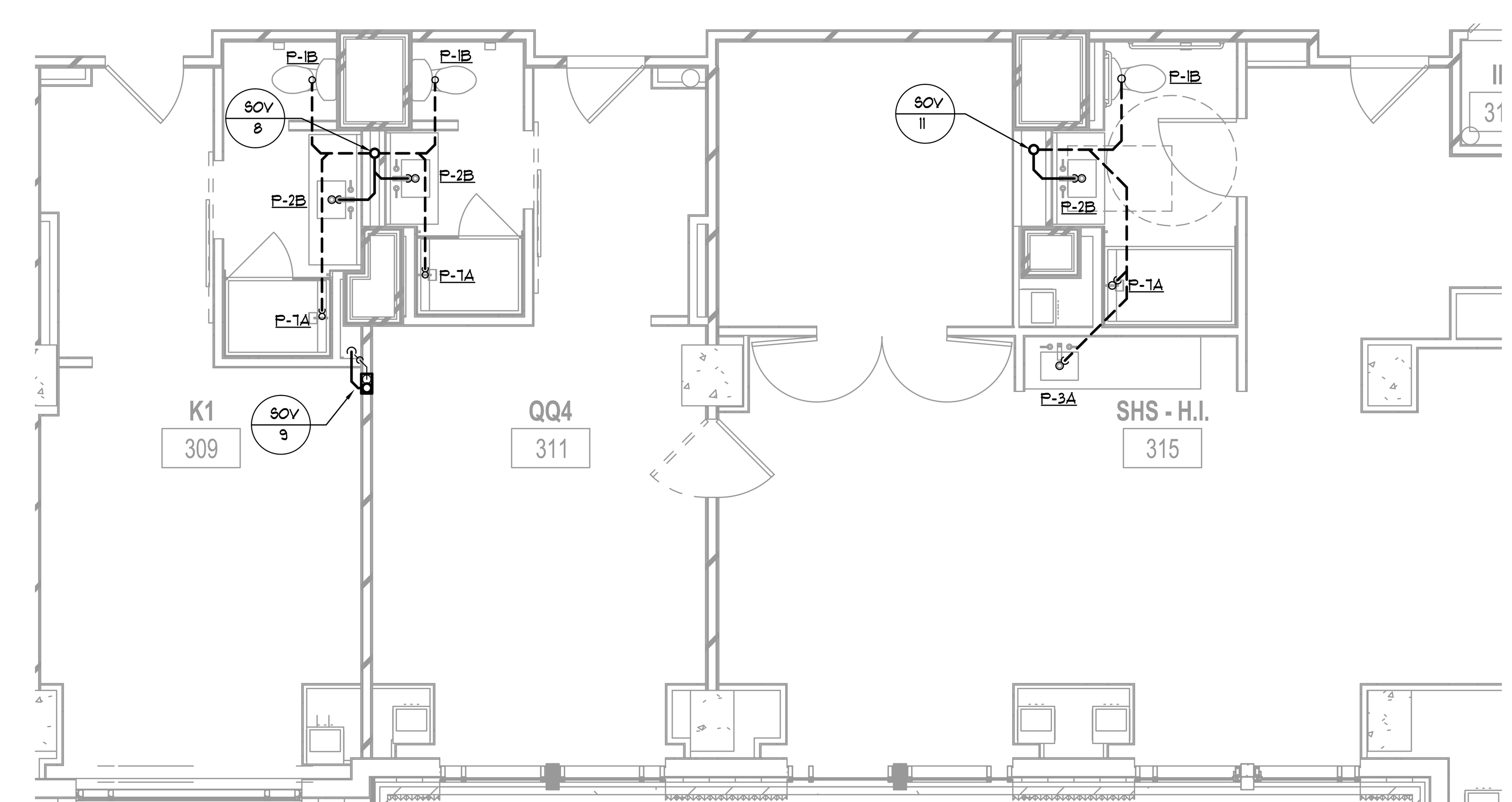

11 P4.01 K1/QQ4/SHS PLAN – SANITARY & VENT
1/4" = 1'-0"

BW&A
Barrett, Woodyard & Associates, Inc
3495 Holcomb Bridge Road
Norcross, GA 30092
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Fax (770) 810-8808

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

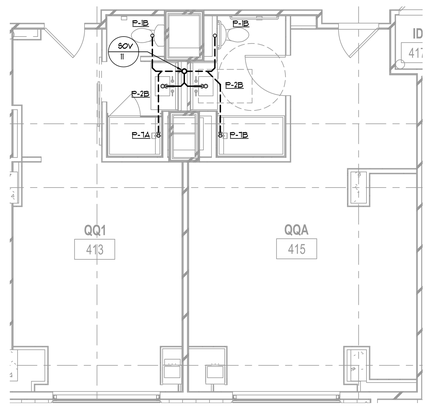
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

GUESTROOM PART PLANS - SANITARY & VENT

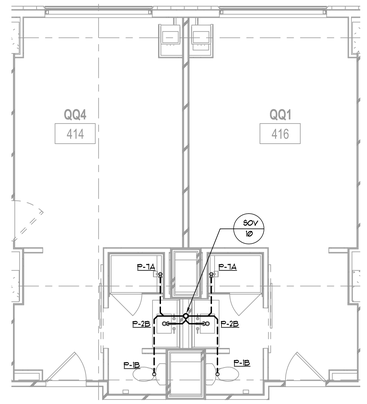
K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

P4.01
Drawing No.

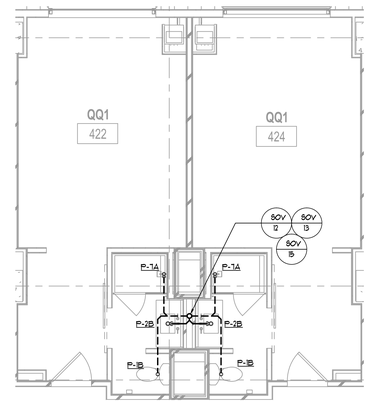
ISSUED FOR CONSTRUCTION



1 P4.02 QQ1/QQA PLAN – SANITARY & VENT
1/4" = 1'-0"



2 P4.02 QQ4/QQ1 PLAN – SANITARY & VENT
1/4" = 1'-0"



3 P4.02 QQ1/QQ1 PLAN (TYP.)– SANITARY & VENT
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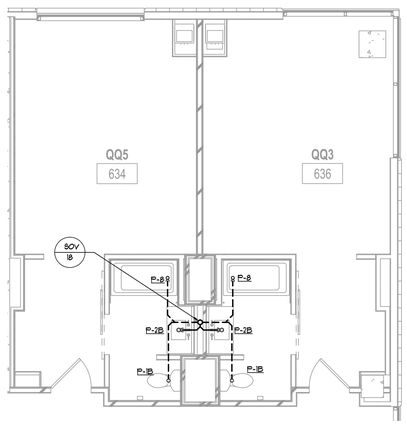
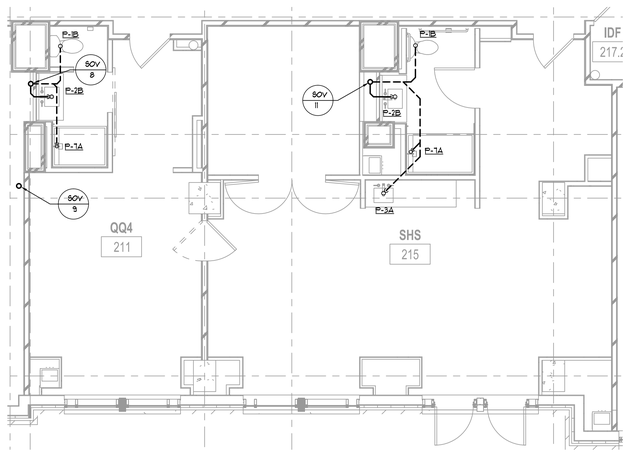
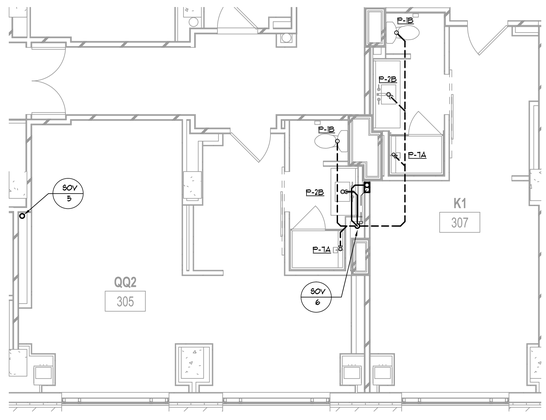


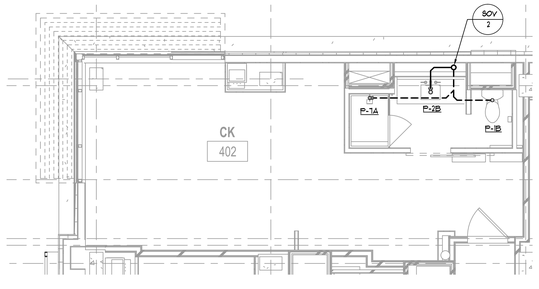
4 P4.02 QQ3/QQ5 PLAN – SANITARY & VENT
1/4" = 1'-0"



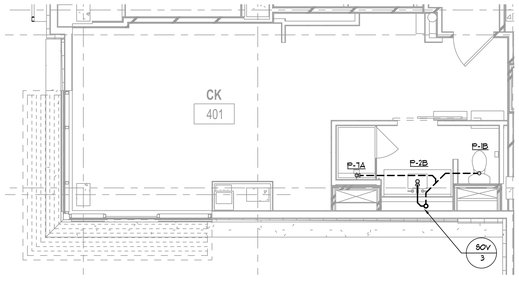
5 P4.02 QQ4/SHS PLAN – SANITARY & VENT
1/4" = 1'-0"



6 P4.02 QQ2/K1 PLAN – SANITARY & VENT
1/4" = 1'-0"



7 P4.02 CK PLAN – SANITARY & VENT
1/4" = 1'-0"



8 P4.02 CK PLAN – SANITARY & VENT
1/4" = 1'-0"

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Fax (770) 810-8808

GEORGIA
Registered
Professional
Engineer
JEREMY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

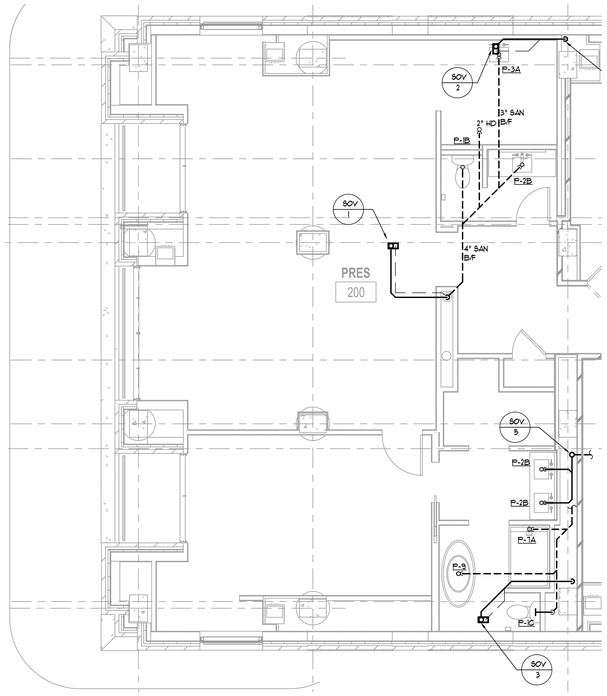
GUESTROOM PART PLANS - SANITARY & VENT

K. PRICE Principal-in-Charge	140028 BW&A Project No.
G. JENKINS Project Engineer	10/17/16 Date
T. MERCER Drawn By	

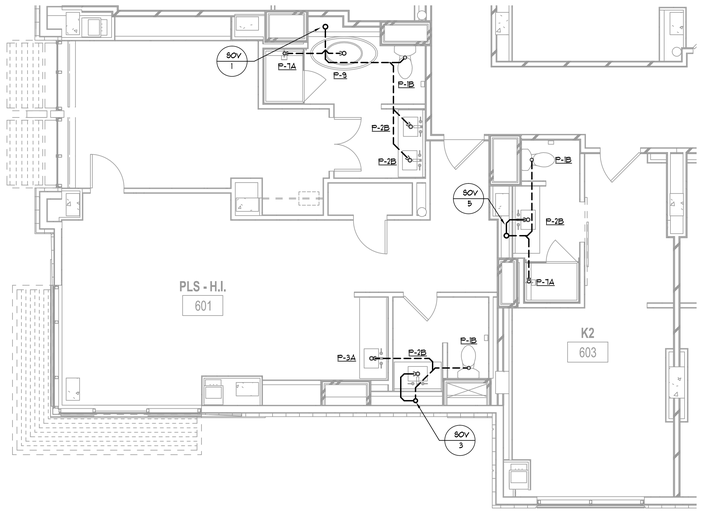
P4.02

Drawing No.

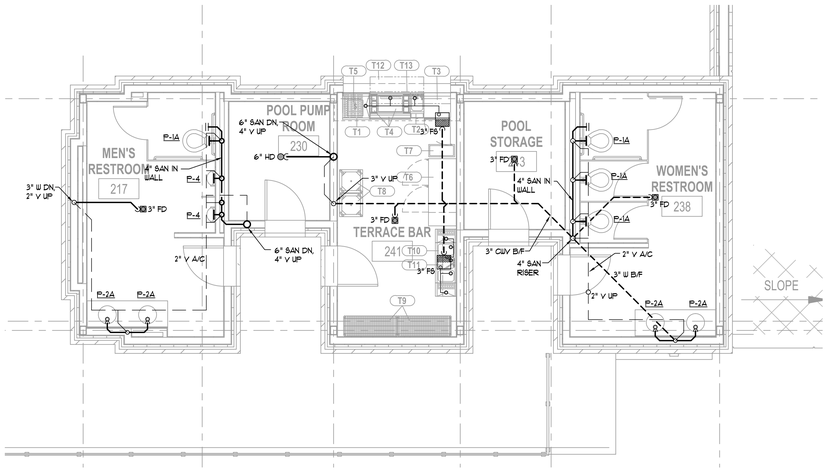
ISSUED FOR CONSTRUCTION



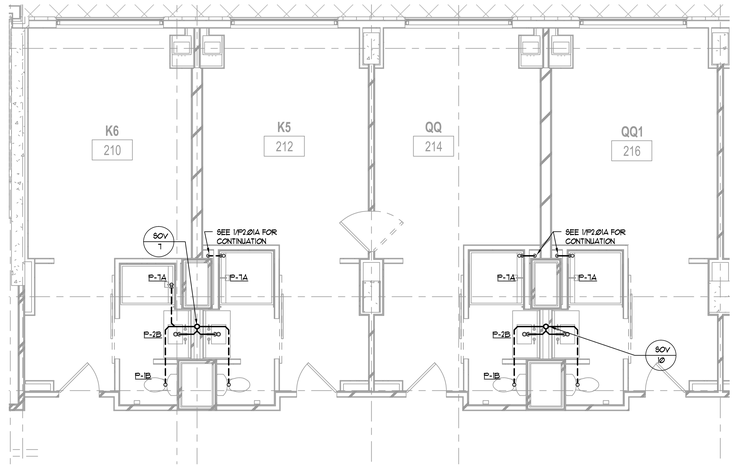
1 P4.03 PRES PLAN – SANITARY & VENT
1/4" = 1'-0"



2 P4.03 PLS/K2 PLAN – SANITARY & VENT
1/4" = 1'-0"



3 P4.03 POOL RESTROOMS & TERRACE BAR PLAN – SANITARY & VENT
1/4" = 1'-0"



4 P4.03 LEVEL 2 K5, QQ, & QQ1 PLAN – SANITARY & VENT
1/4" = 1'-0"

BW&A

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GEORGIA REGISTERED PROFESSIONAL ENGINEER JEREMY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

♦

STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

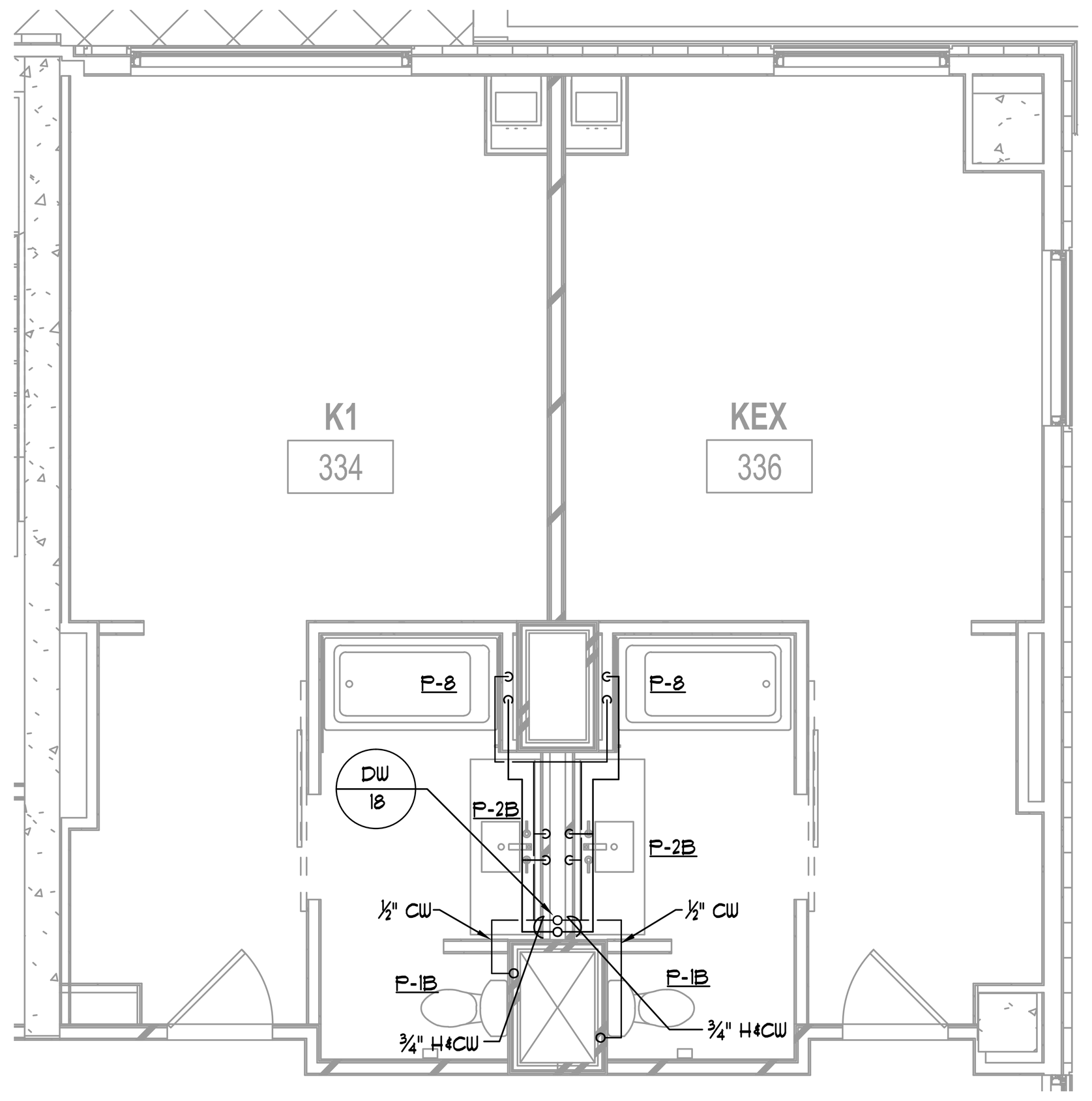
GUESTROOM PART PLANS - SANITARY & VENT

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

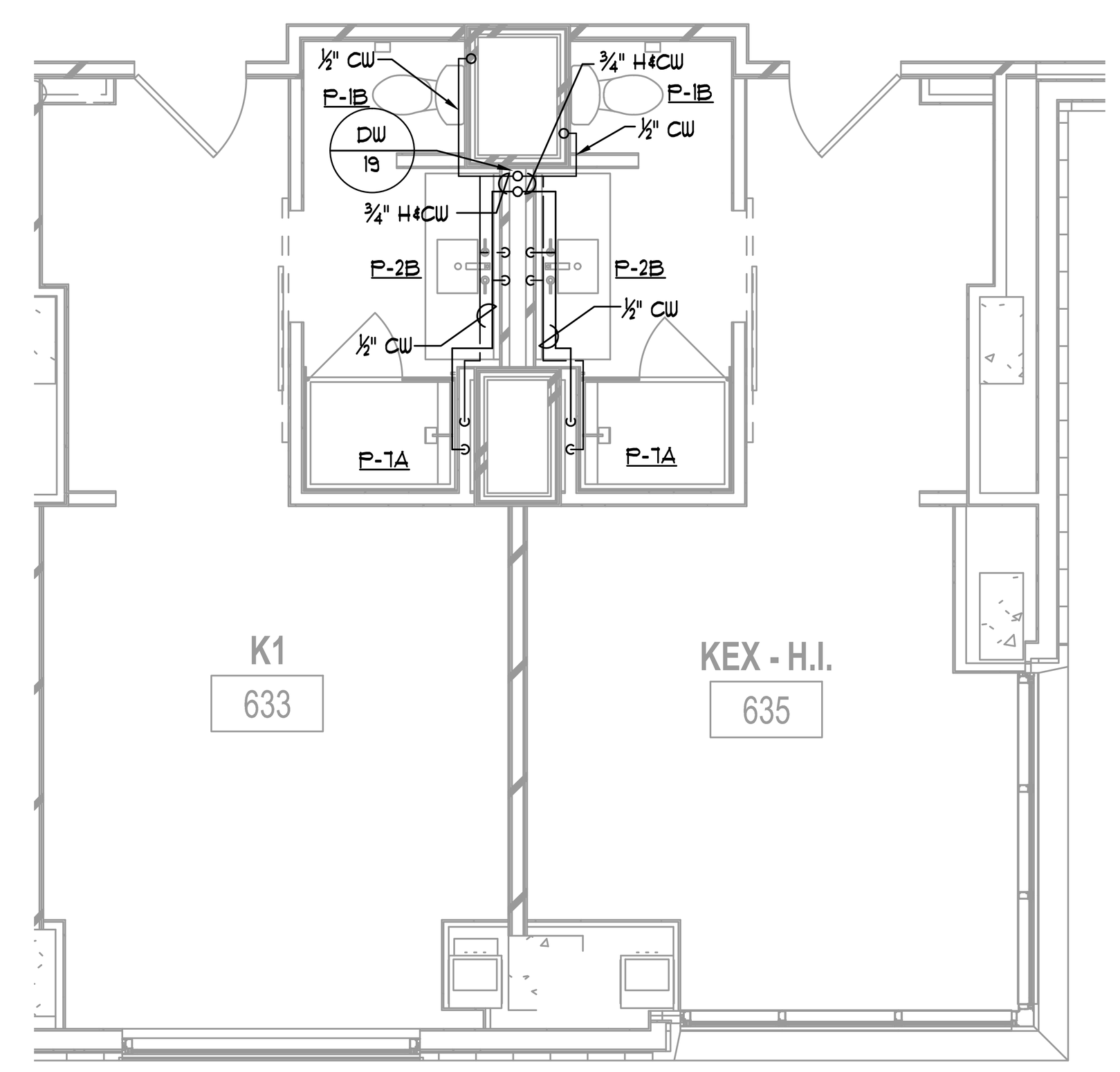
P4.03

Drawing No.

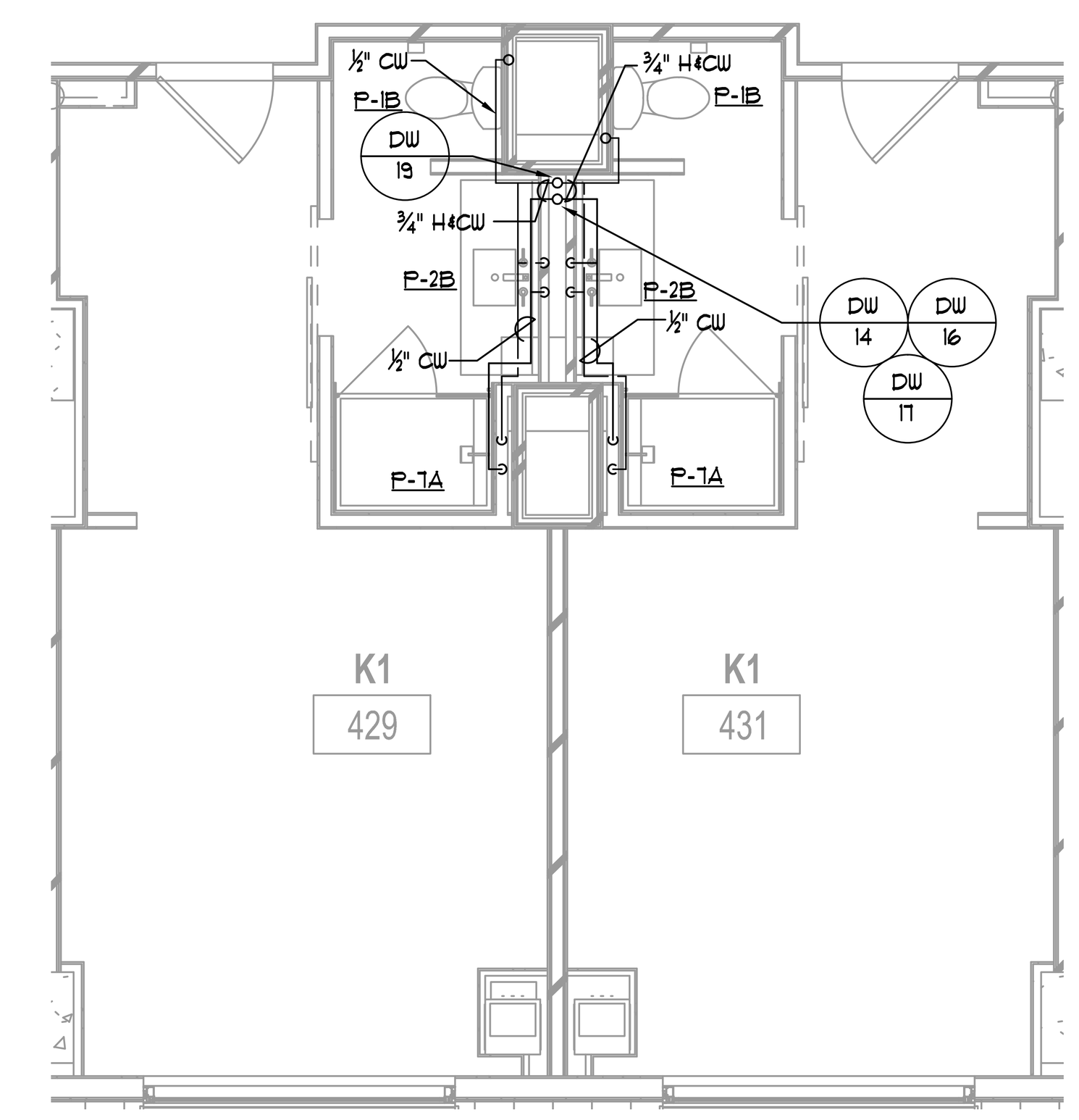
ISSUED FOR CONSTRUCTION



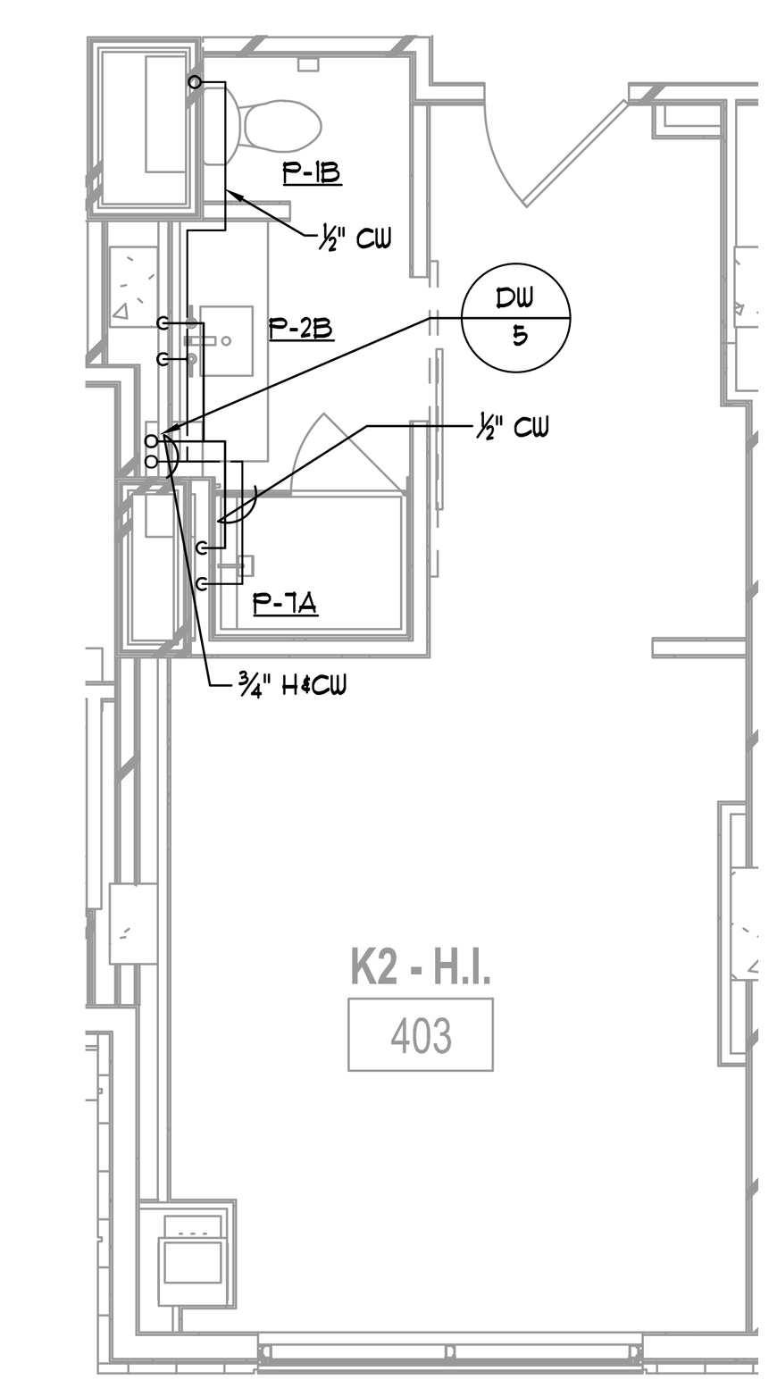
1 P4.04 K1/KEX PLAN – DOMESTIC WATER
1/4" = 1'-0"



2 P4.04 K1/KEX PLAN – DOMESTIC WATER
1/4" = 1'-0"



3 P4.04 K1/K1 PLAN (TYP.) – DOMESTIC WATER
1/4" = 1'-0"



4 P4.04 K2 PLAN – DOMESTIC WATER
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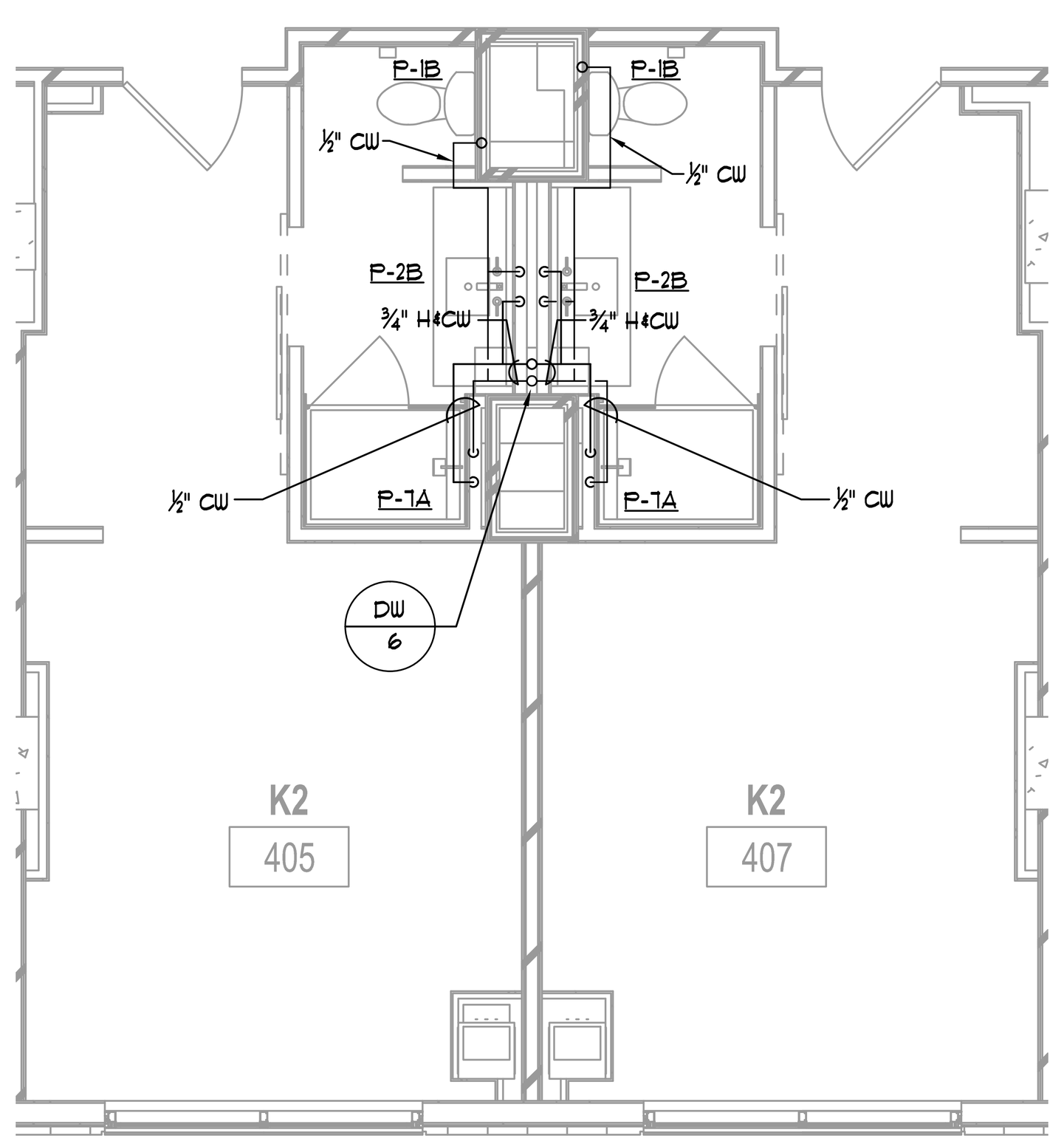
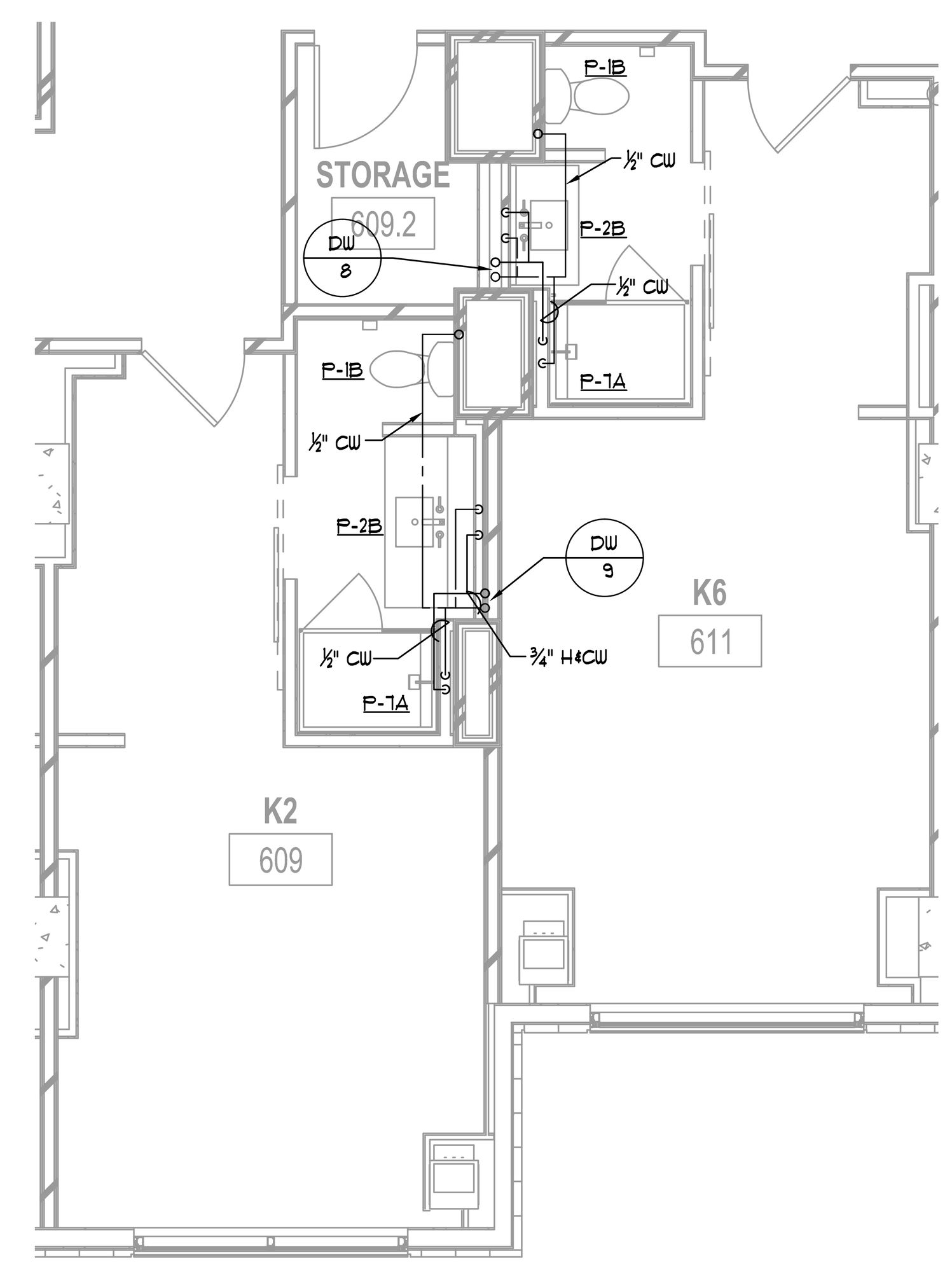
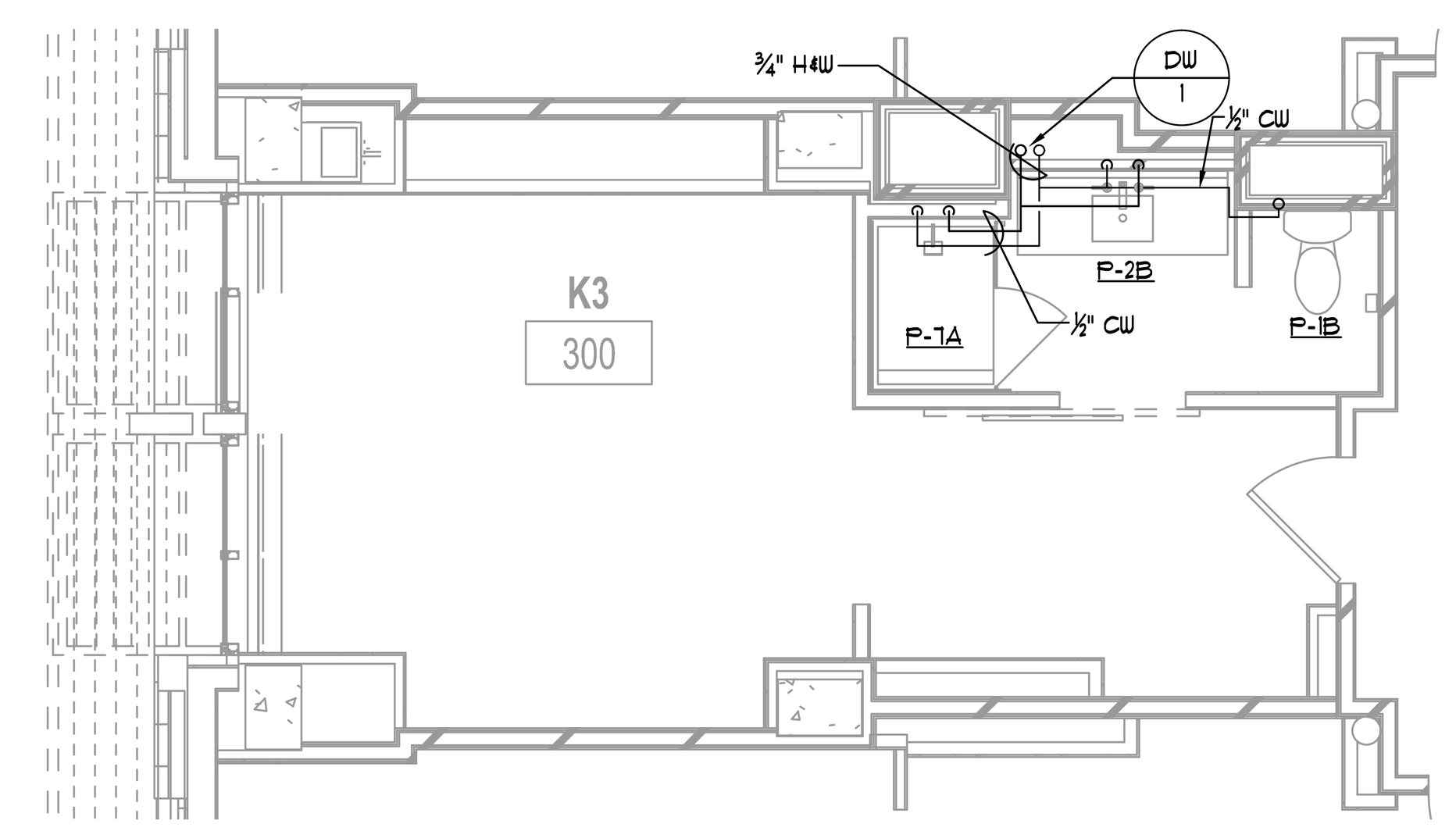


5 P4.04 K2 PLAN – DOMESTIC WATER
1/4" = 1'-0"



6 P4.04 K2/K6 PLAN – DOMESTIC WATER
1/4" = 1'-0"



7 P4.04 K3 PLAN – DOMESTIC WATER
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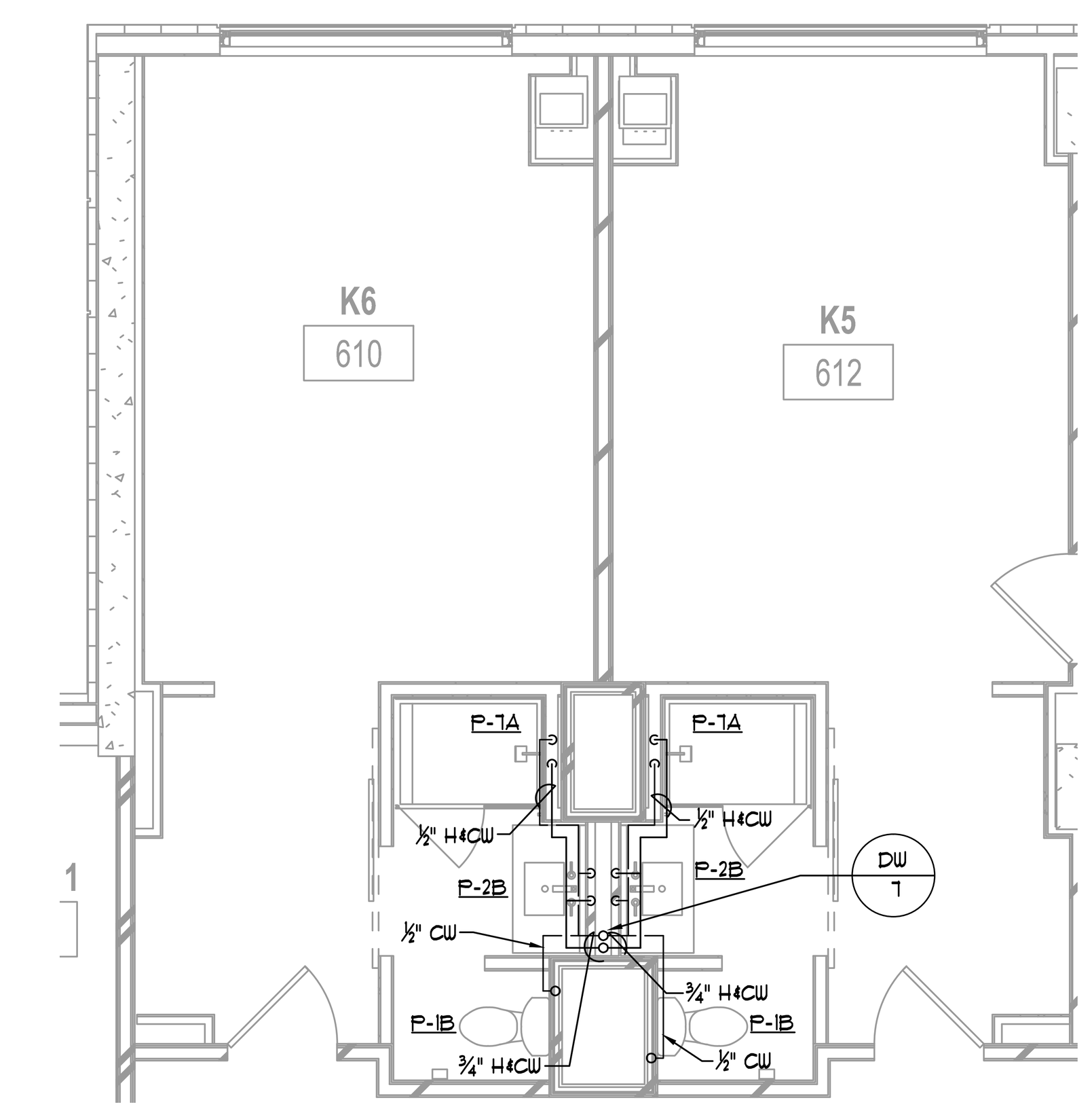

8 P4.04 K5/K6 PLAN – DOMESTIC WATER
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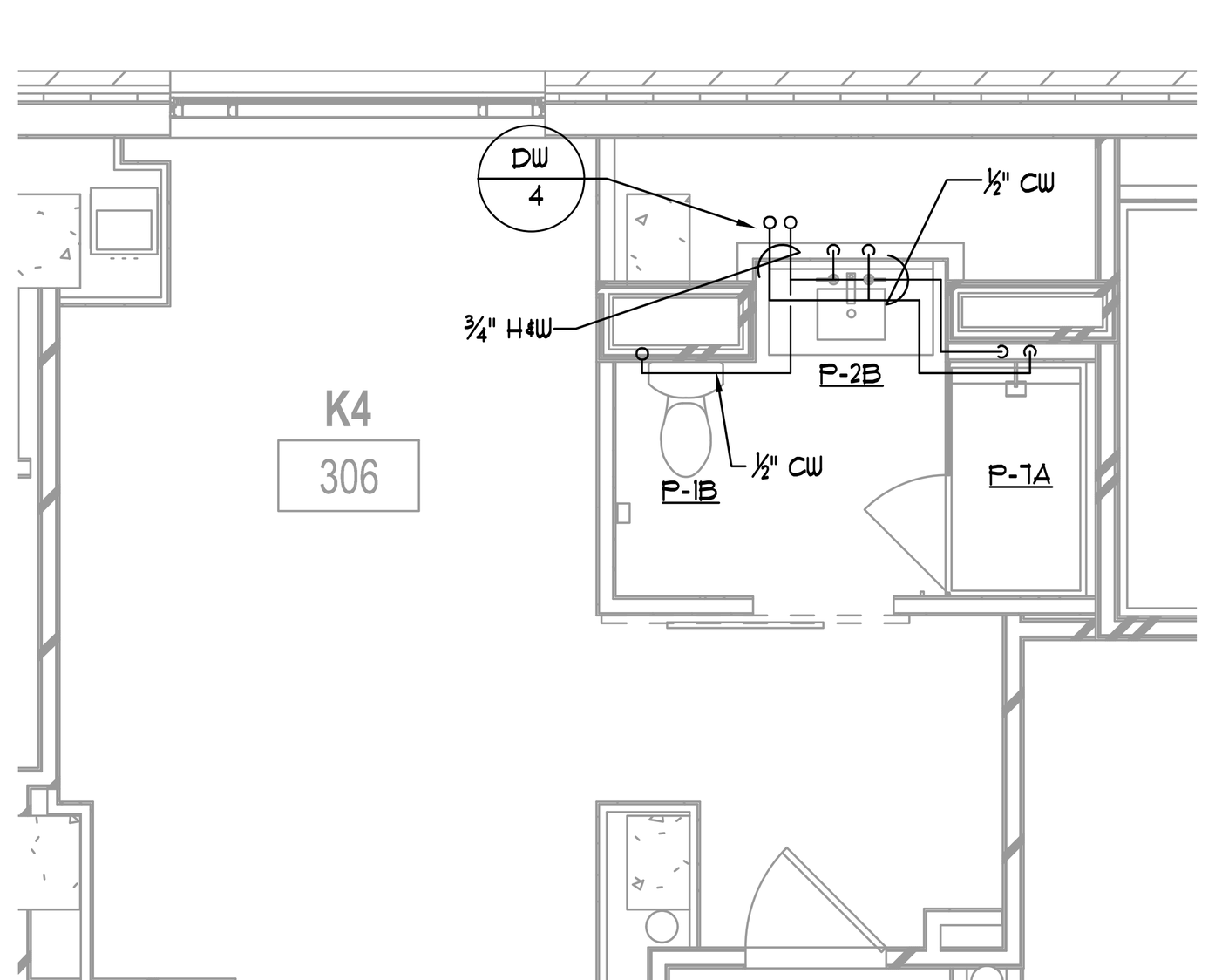

9 P4.04 K4 PLAN – DOMESTIC WATER
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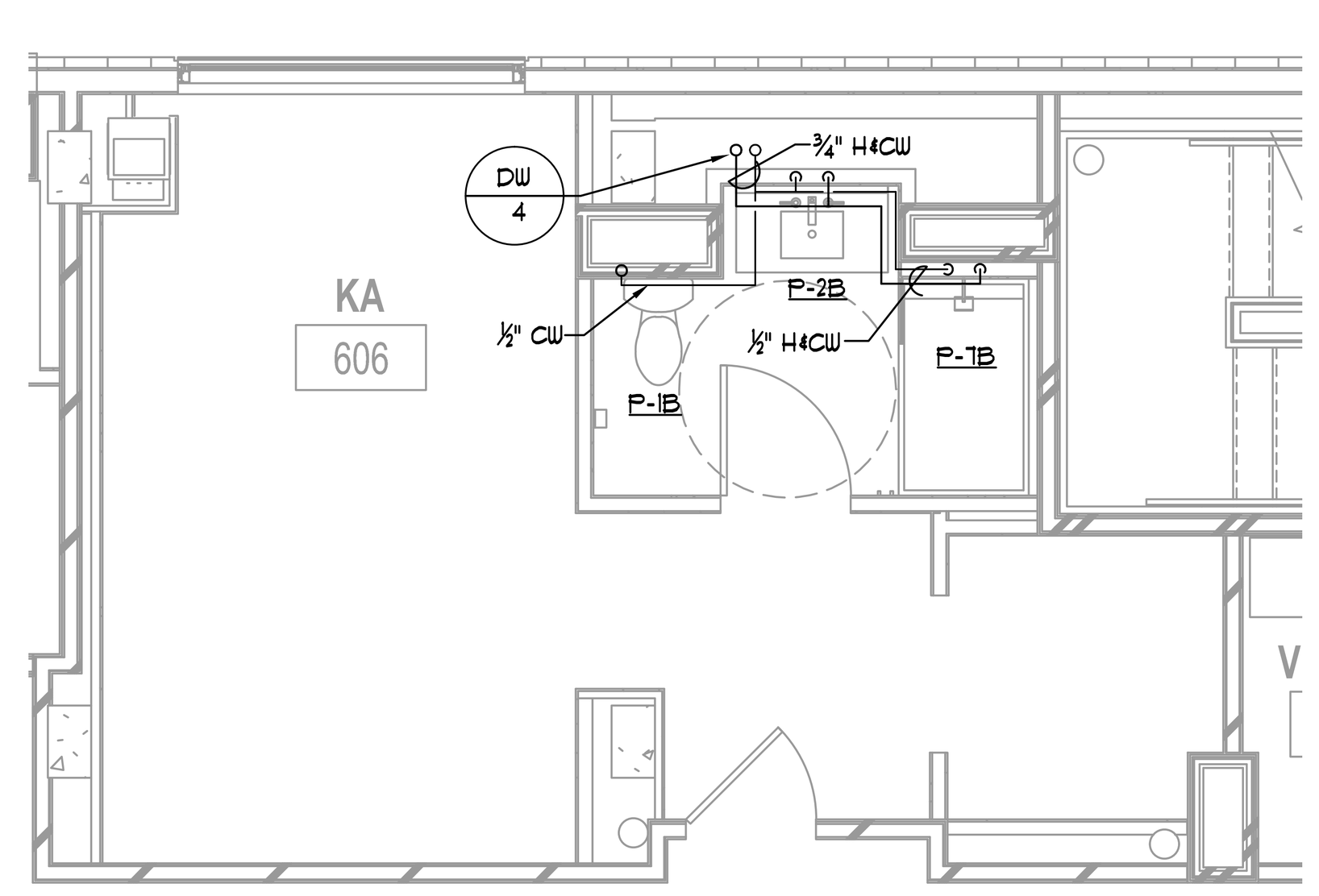
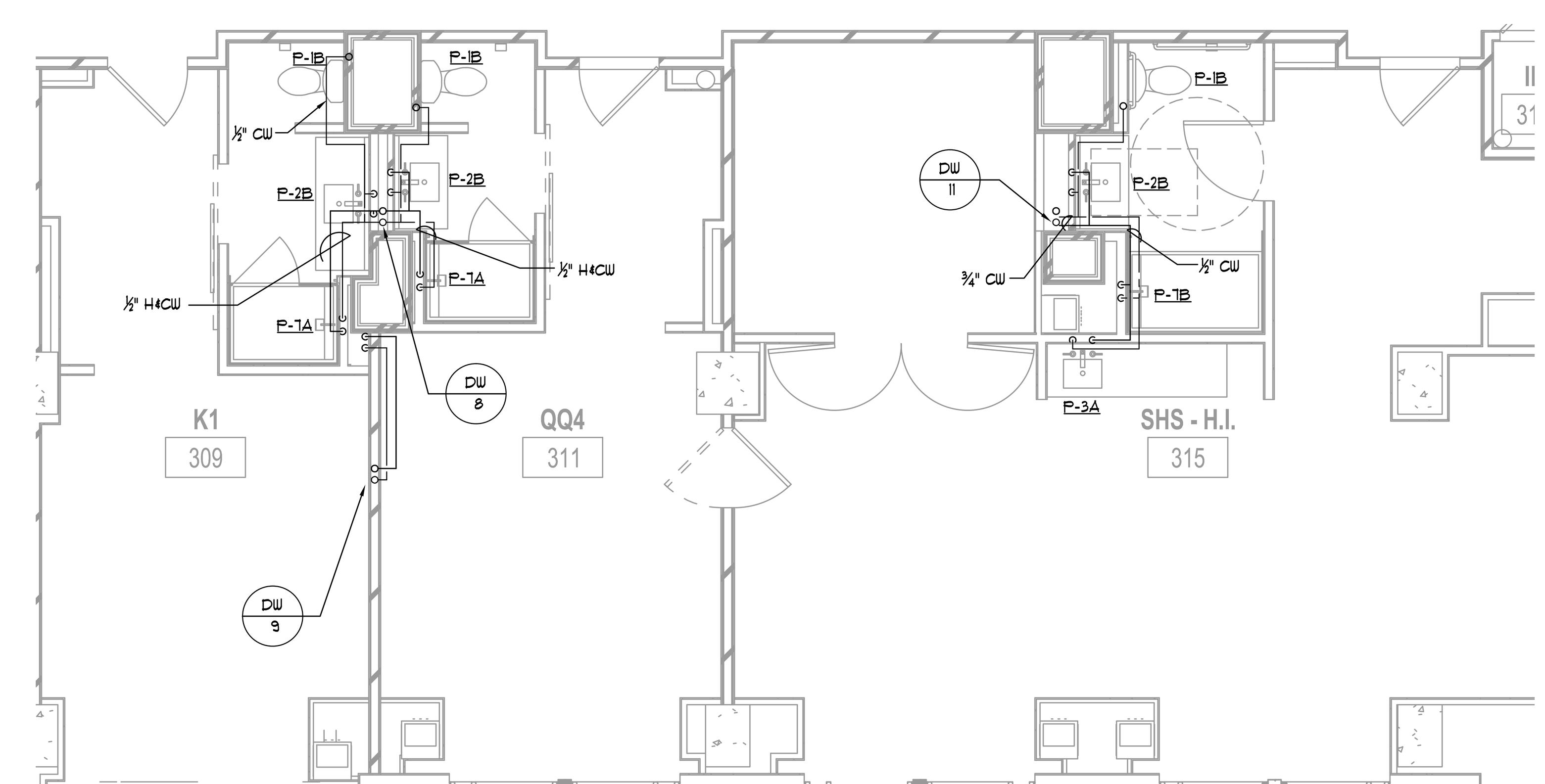


10 P4.04 KA PLAN – DOMESTIC WATER
1/4" = 1'-0"



11 P4.04 K1/QQ4/SHS PLAN – DOMESTIC WATER
1/4" = 1'-0"

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ISSUANCES

No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

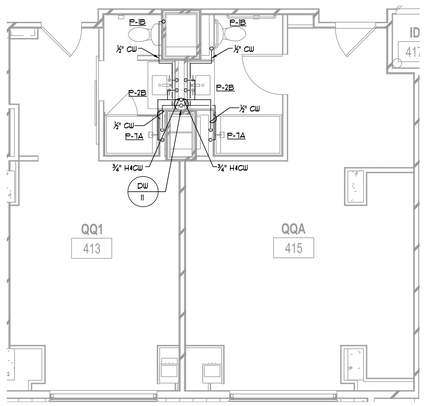
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

GUESTROOM PART PLANS - DOMESTIC WATER

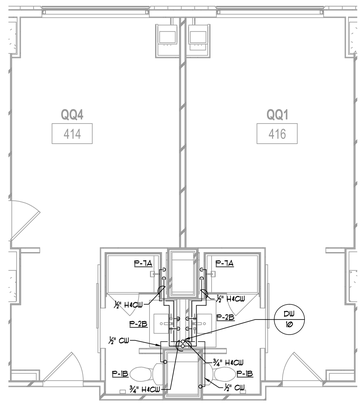
K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

P4.04

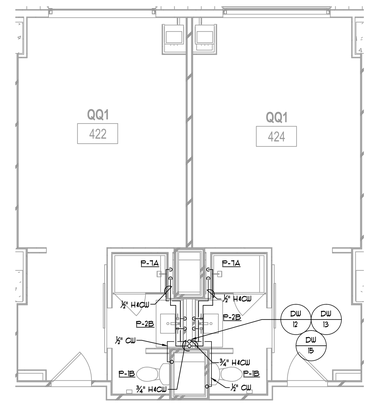
ISSUED FOR CONSTRUCTION



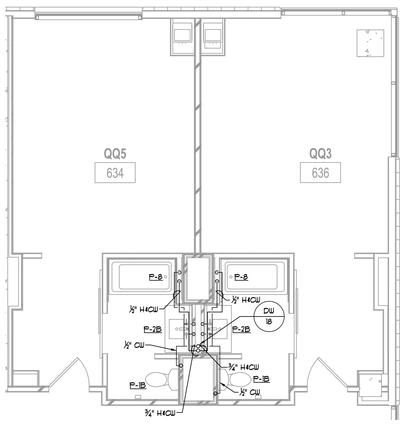
1 P4.05 QQ1/QQA PLAN – DOMESTIC WATER
1/4" = 1'-0"



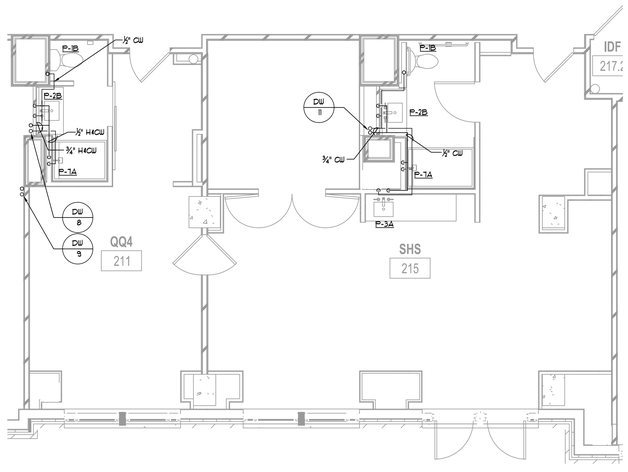
2 P4.05 QQ4/QQ1 PLAN – DOMESTIC WATER
1/4" = 1'-0"



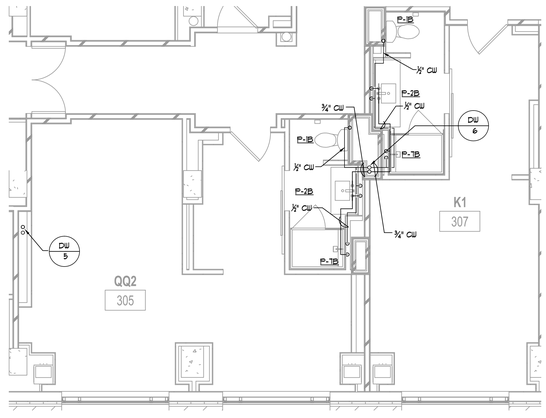
3 P4.05 QQ1/QQ1 PLAN (TYP.)– DOMESTIC WATER
1/4" = 1'-0"



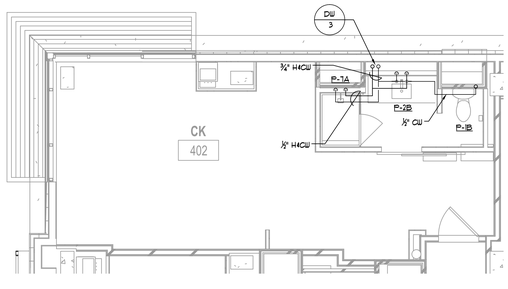
4 P4.05 QQ3/QQ5 PLAN – DOMESTIC WATER
1/4" = 1'-0"



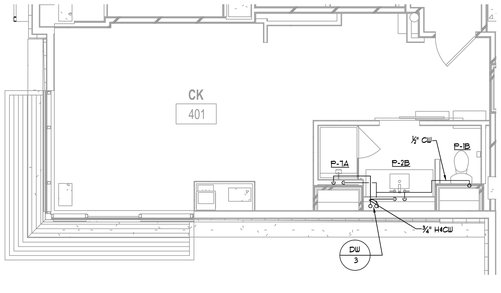
5 P4.05 QQ4/SHS PLAN – DOMESTIC WATER
1/4" = 1'-0"



6 P4.05 QQ2/K1 PLAN – DOMESTIC WATER
1/4" = 1'-0"



7 P4.05 CK PLAN – DOMESTIC WATER
1/4" = 1'-0"



8 P4.05 CK PLAN – DOMESTIC WATER
1/4" = 1'-0"

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Barrett Woodyard & Associates, Inc
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GEORGIA REGISTERED ARCHITECT JEREMY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
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ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

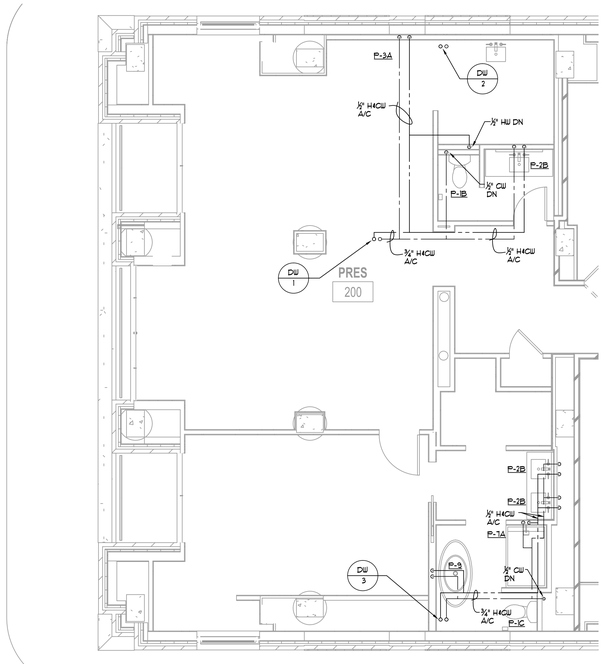
GUESTROOM PART PLANS - DOMESTIC WATER

K. PRICE Principal-in-Charge	140028 BW&A Project No.
G. JENKINS Project Engineer	10/17/16 Date
T. MERCER Drawn By	

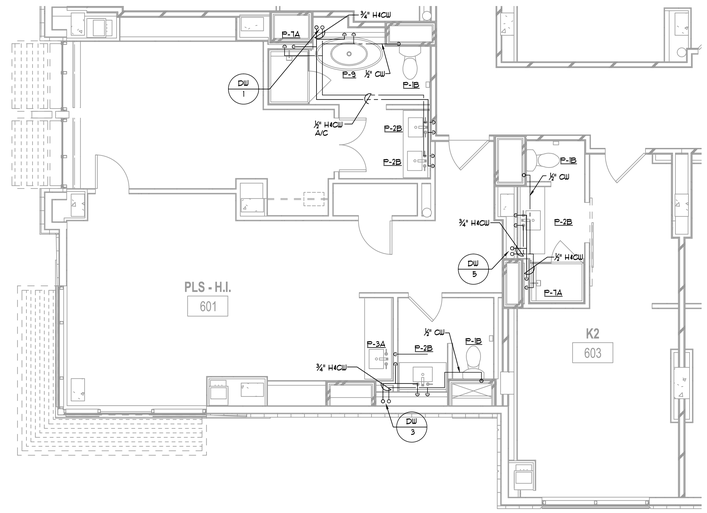
P4.05

Drawing No.

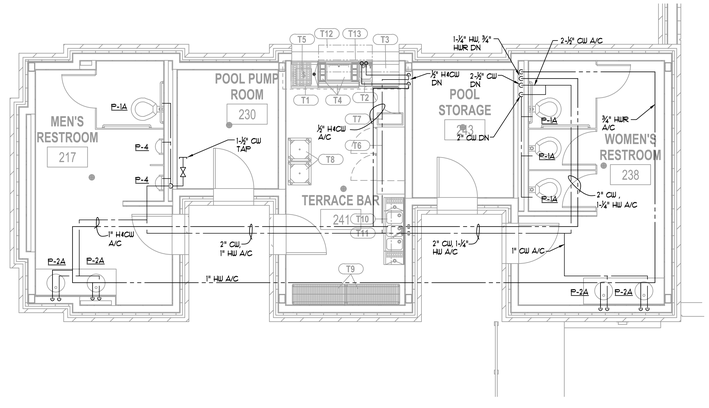
ISSUED FOR CONSTRUCTION



1 P4.06 PRES PLAN – DOMESTIC WATER
1/4" = 1'-0"



2 P4.06 PLS/K2 PLAN – DOMESTIC WATER
1/4" = 1'-0"



3 P4.06 POOL RESTROOMS & TERRACE BAR PLAN – DOMESTIC WATER
1/4" = 1'-0"

BW&A
Barrett Woodyard & Associates, Inc
3495 Holcomb Bridge Road
Norcross, GA 30092
Phone (770) 810-8800
Fax (770) 810-8808

GEORGIA REGISTERED PROFESSIONAL ENGINEER JEREMY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

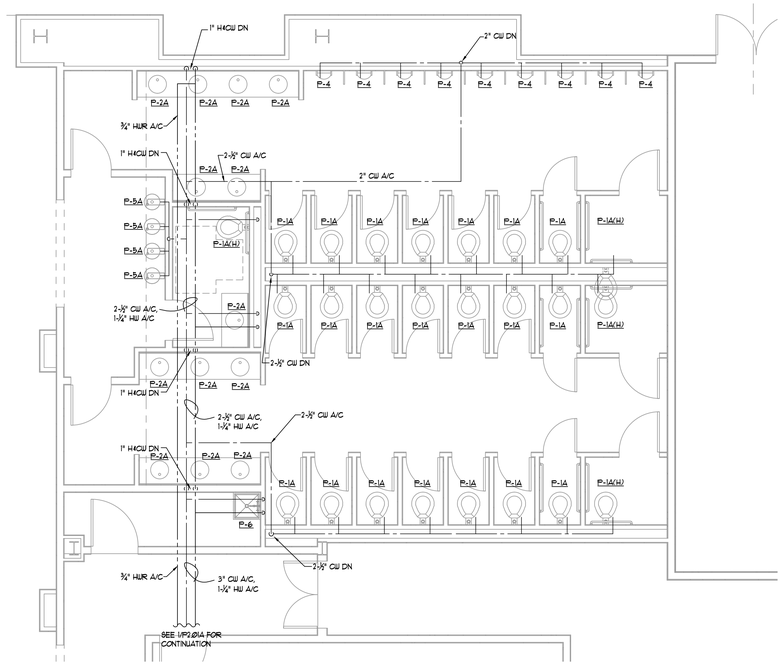
GUESTROOM PART PLANS - DOMESTIC WATER

K. PRICE, Principal-in-Charge	140028, BW&A Project No.
G. JENKINS, Project Engineer	10/17/16, Date
T. MERCER, Drawn By	

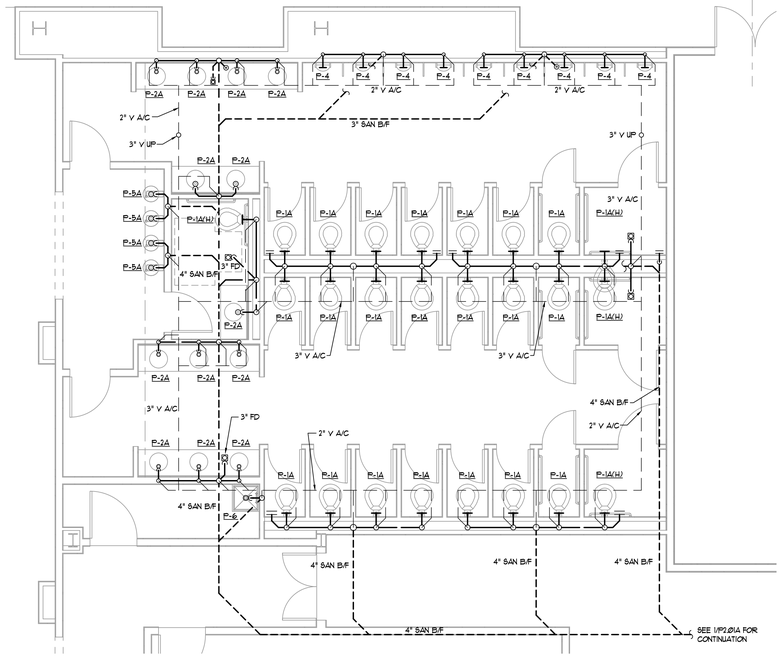
P4.06

Drawing No.

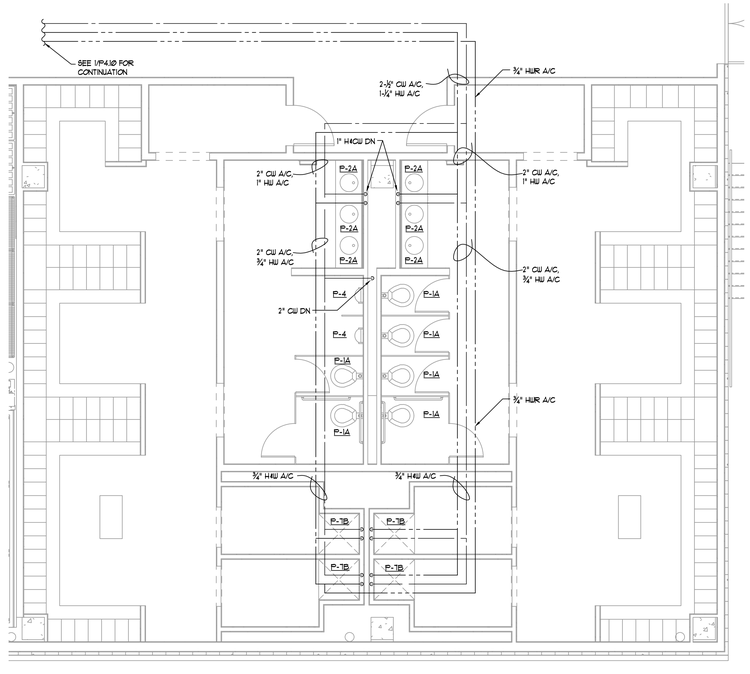
ISSUED FOR CONSTRUCTION



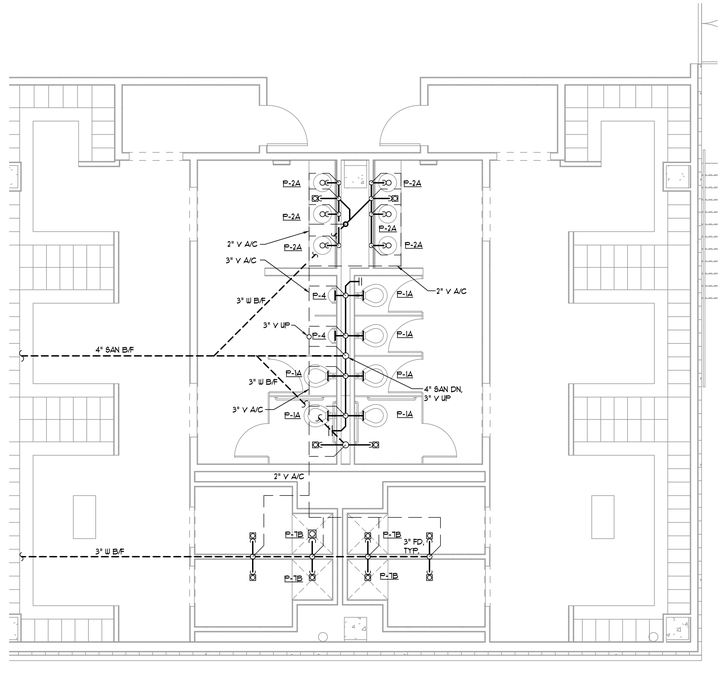
1 P4.07 LEVEL 1 ZONE A RESTROOMS – DOMESTIC WATER
1/4" = 1'-0"



2 P4.07 LEVEL 1 ZONE A RESTROOMS – SANITARY & VENT
1/4" = 1'-0"



3 P4.07 LEVEL 1 ZONE A LOCKERS – DOMESTIC WATER
1/4" = 1'-0"



4 P4.07 LEVEL 1 ZONE A LOCKERS – DOMESTIC WATER
1/4" = 1'-0"

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GEORGIA
REGISTERED
PROFESSIONAL
ENGINEER
JEREMY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

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ALPHARETTA, GEORGIA 30009

STORMONT HOSPITALITY GROUP, LLC /
NORTH AMERICAN PROPERTY GROUP

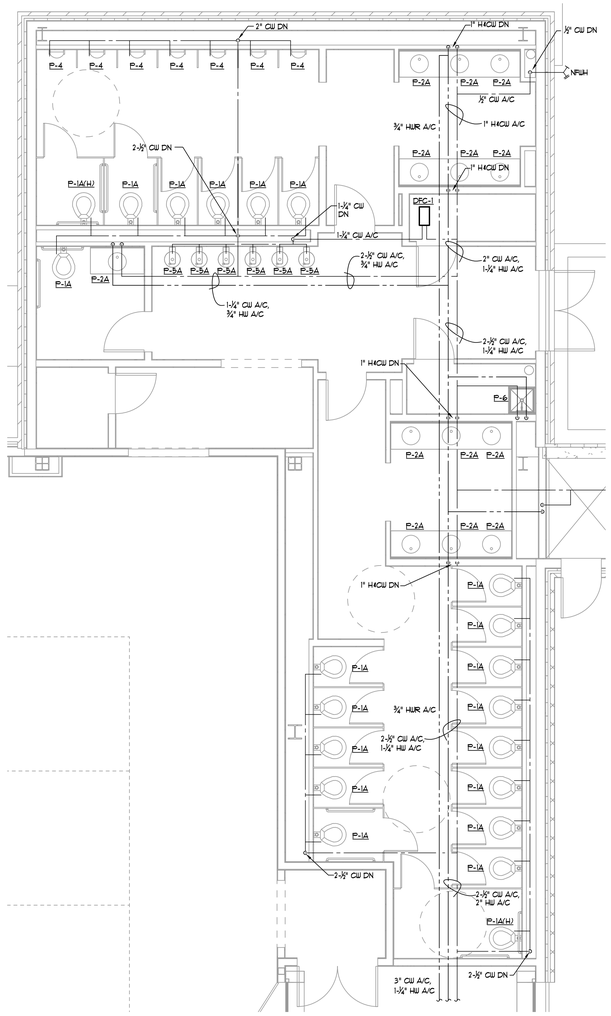
LEVEL 1
PART PLANS -
PLUMBING

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

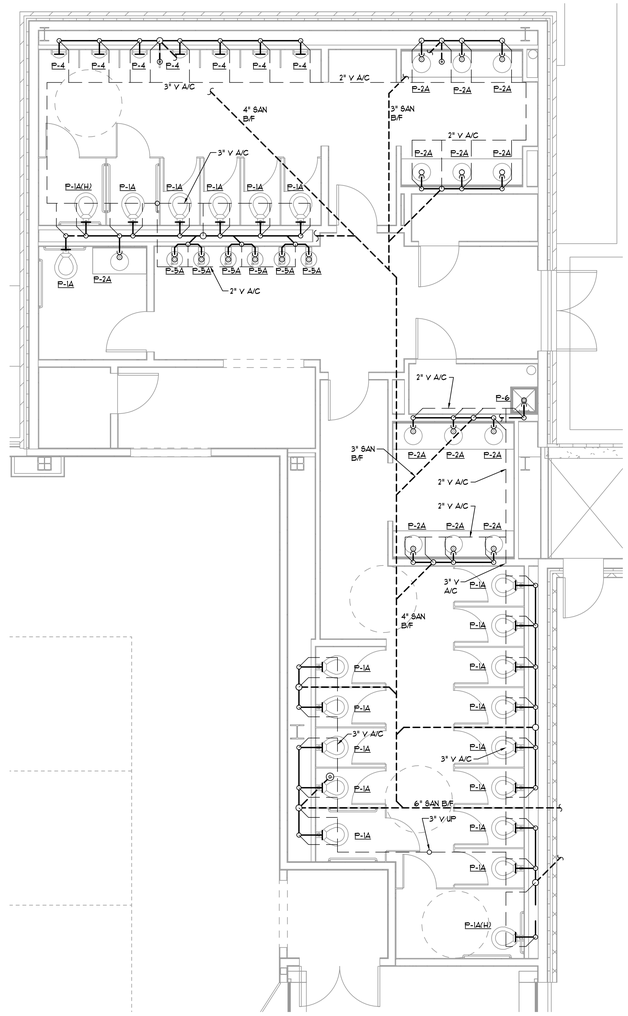
P4.07

Drawing No.

ISSUED FOR CONSTRUCTION



1 P4.08 LEVEL 1 ZONE B RESTROOMS – DOMESTIC WATER
1/4" = 1'-0"



2 P4.08 LEVEL 1 ZONE B RESTROOMS – DOMESTIC WATER
1/4" = 1'-0"

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GEORGIA REGISTERED PROFESSIONAL ENGINEER JEREMY M. JENKINS

ISSUANCES

No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

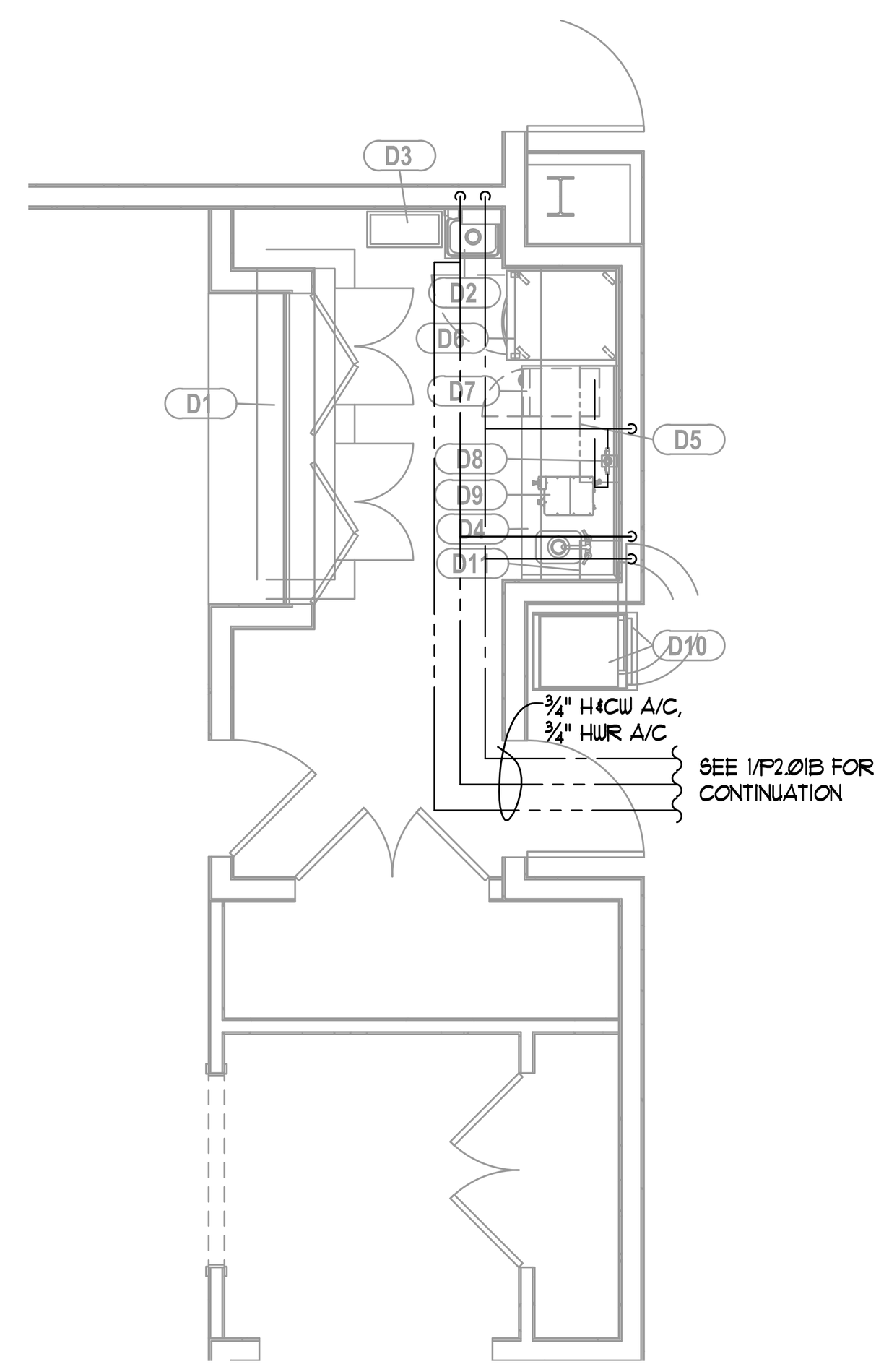
LEVEL 1
PART PLANS - PLUMBING

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn by	

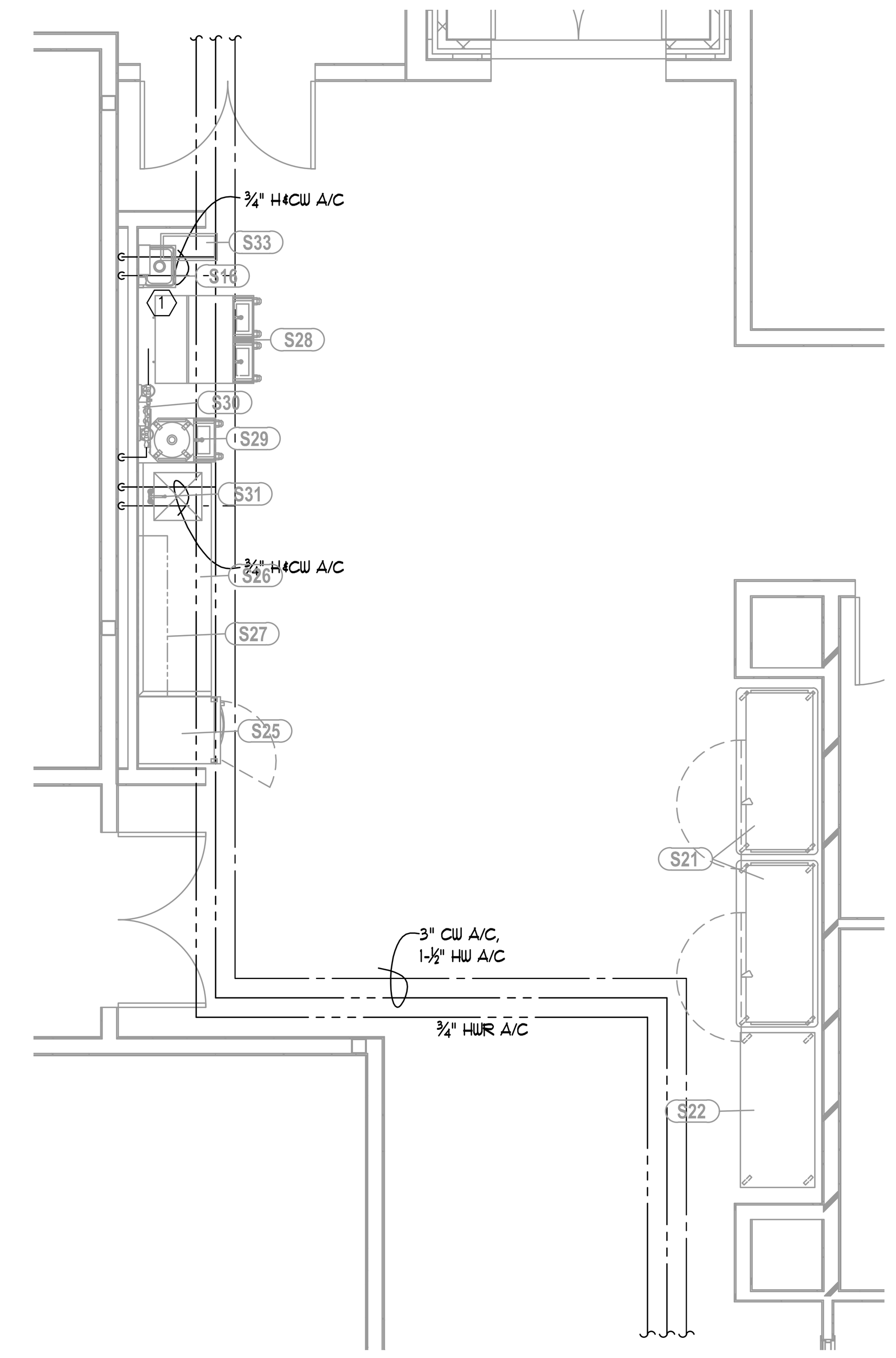
P4.08

Drawing No.

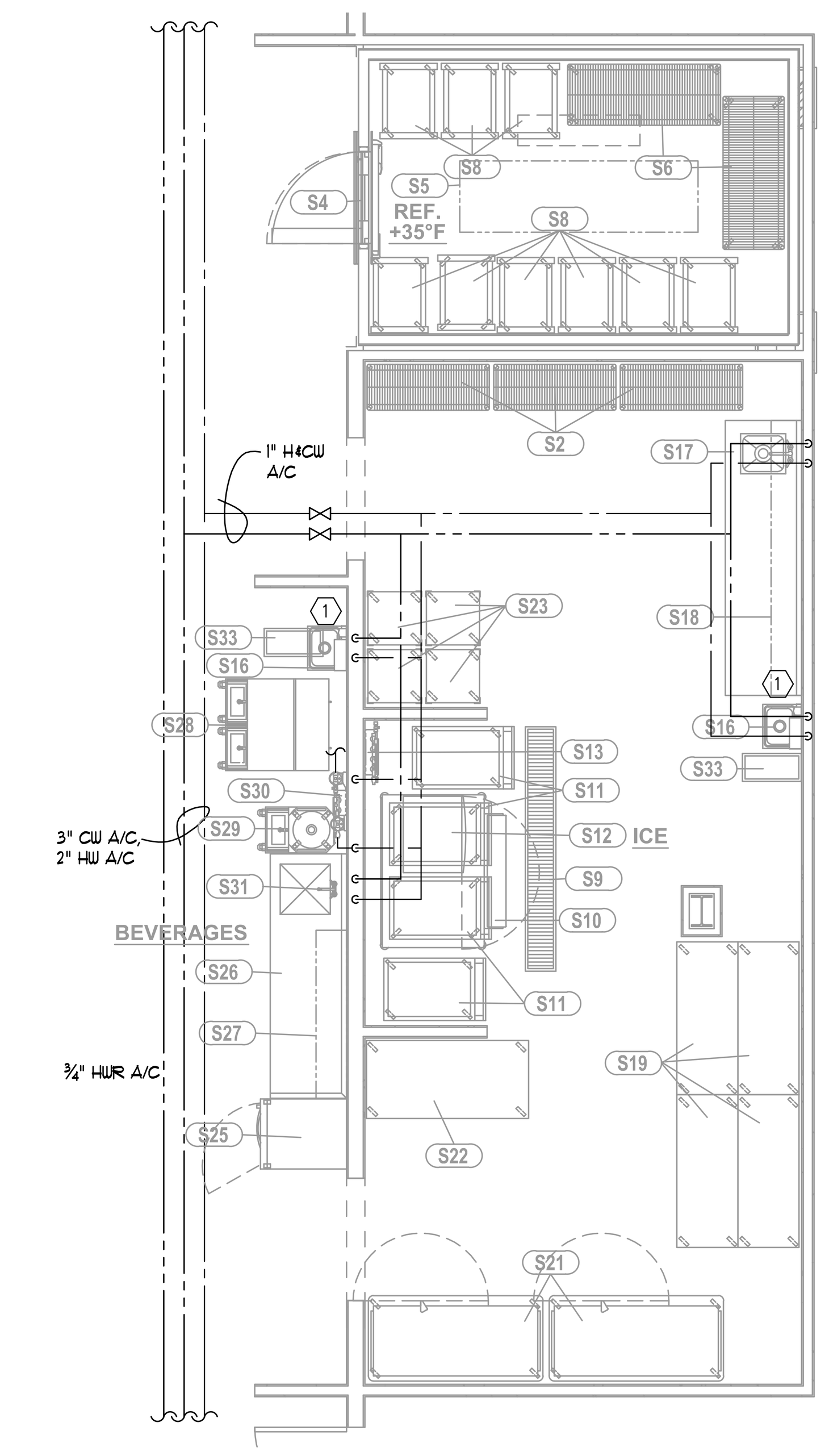
ISSUED FOR CONSTRUCTION



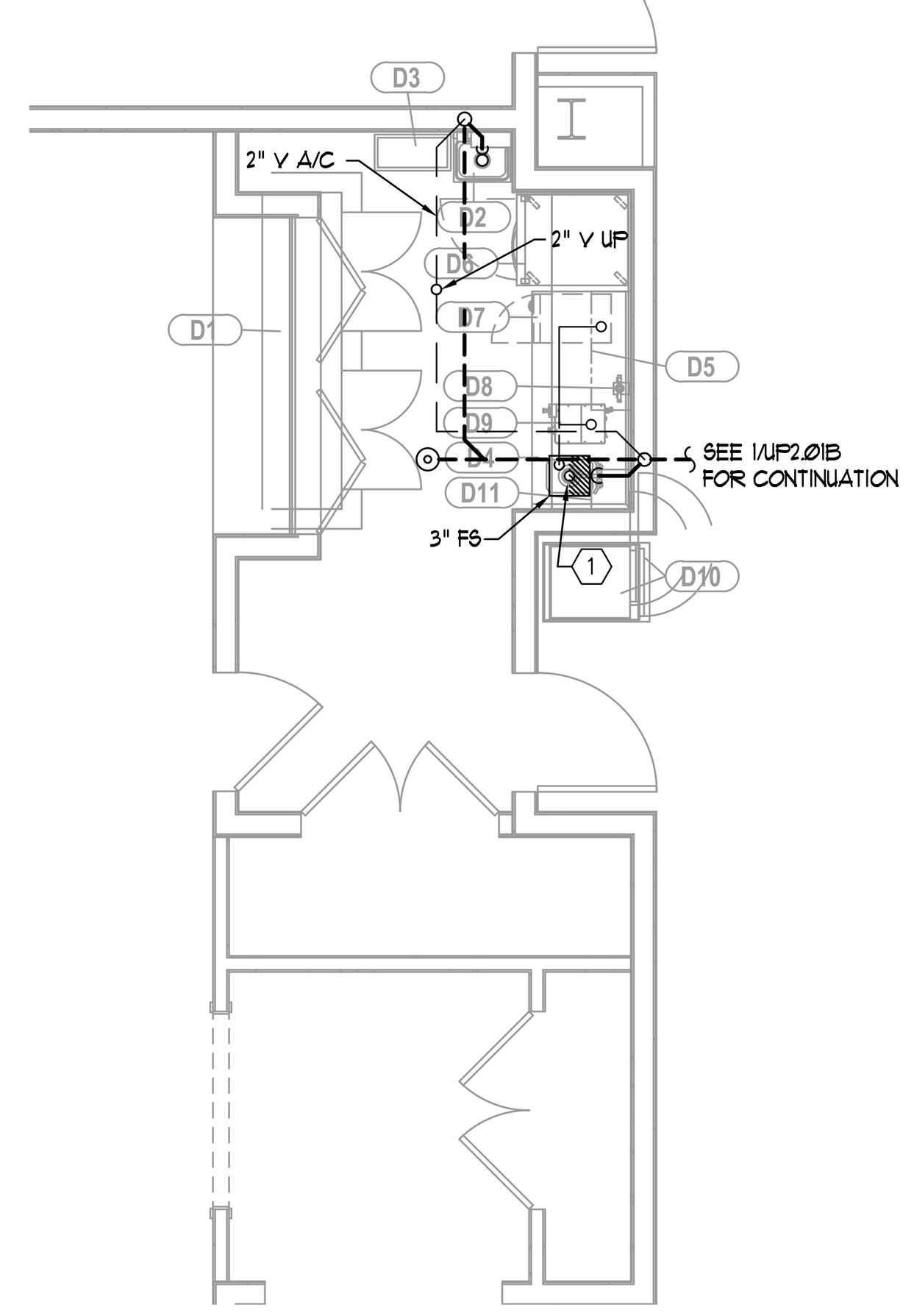
1 P4.09 LEVEL 1 ZONE B SERVICE PANTRY – DOMESTIC WATER
1/4" = 1'-0"



2 P4.09 LEVEL 1 ZONE B BOH CORRIDOR – DOMESTIC WATER
1/4" = 1'-0"



3 P4.09 LEVEL 1 ZONE B WARMING KITCHEN – DOMESTIC WATER
1/4" = 1'-0"



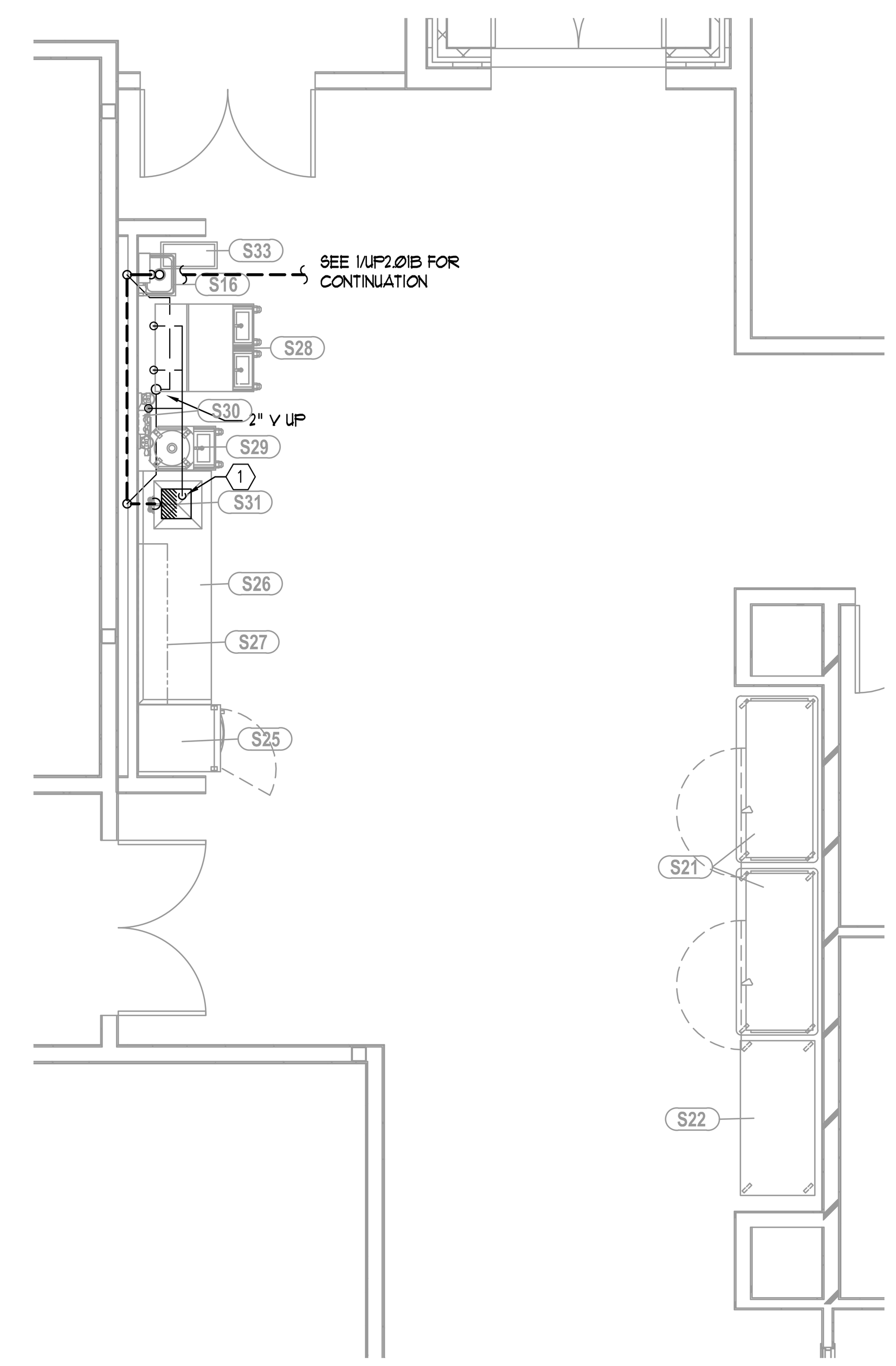
4 P4.09 LEVEL 1 ZONE B SERVICE PANTRY – SANITARY & VENT
1/4" = 1'-0"

GENERAL NOTES
(APPLY THIS SHEET ONLY)

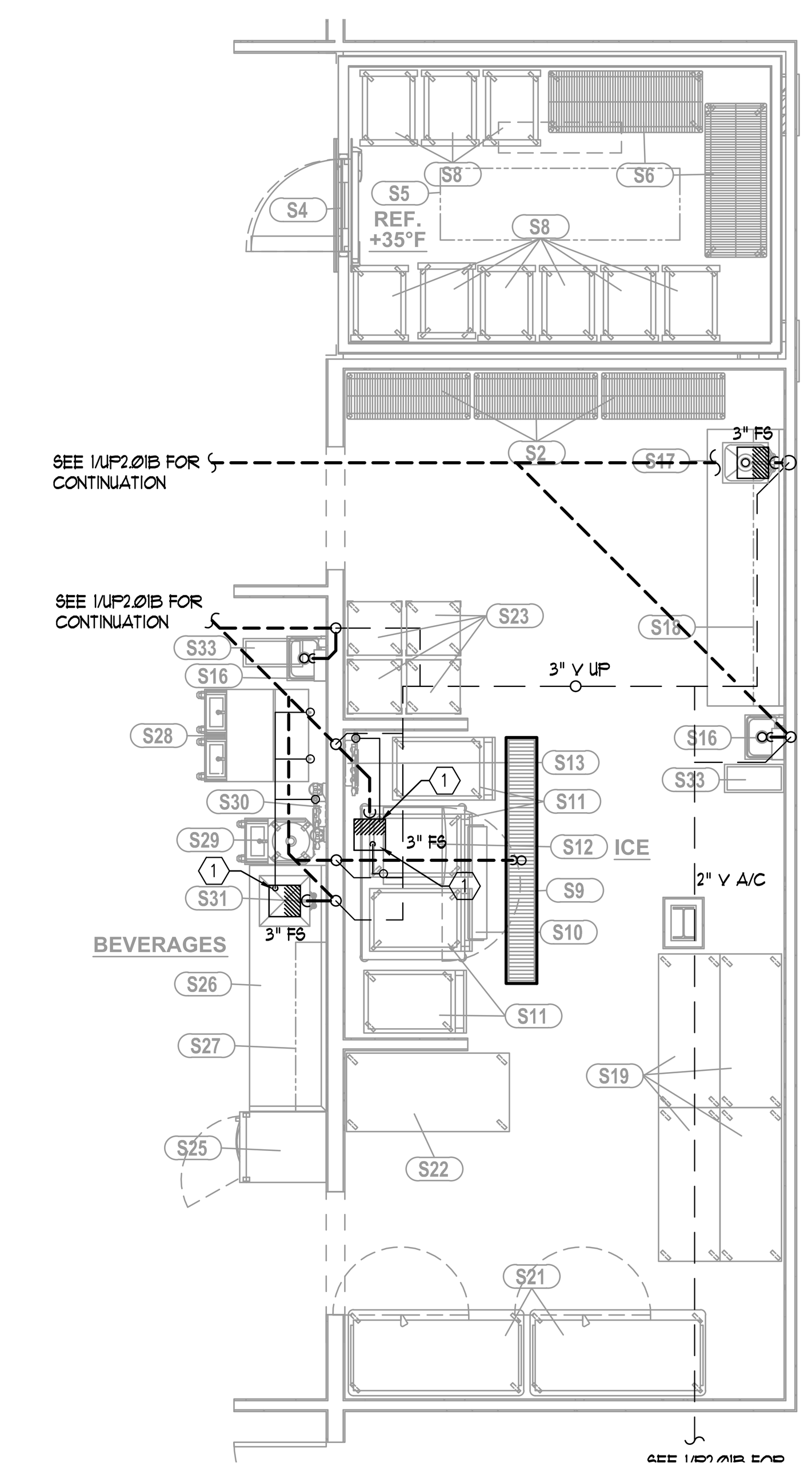
1. REFER TO FIXTURE CONNECTION SCHEDULE AND APPROPRIATE DETAILS/RISERS FOR PIPING SIZES.
2. REFER TO THE ARCHITECTURAL AND KITCHEN CONSULTANT PLANS FOR LOCATIONS OF ALL FIXTURES AND EQUIPMENT. PROVIDE ALL FINAL CONNECTIONS PER KITCHEN CONSULTANT SCHEDULES.
3. PROVIDE BACKFLOW PREVENTERS AT ALL EQUIPMENT CONNECTIONS.
4. LOCATE ALL VALVES IN ACCESSIBLE LOCATIONS.

KEY NOTES

(1) ROUTE INDIRECT WASTE PIPE TO FLOOR SINK. SIZE PER KITCHEN CONSULTANT EQUIPMENT SCHEDULE.



5 P4.09 LEVEL 1 ZONE B BOH CORRIDOR – SANITARY & VENT
1/4" = 1'-0"



6 P4.09 LEVEL 1 ZONE B WARMING KITCHEN – SANITARY & VENT
1/4" = 1'-0"

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GEORGIA REGISTERED No. 032221 PROFESSIONAL ENGINEER GARRY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

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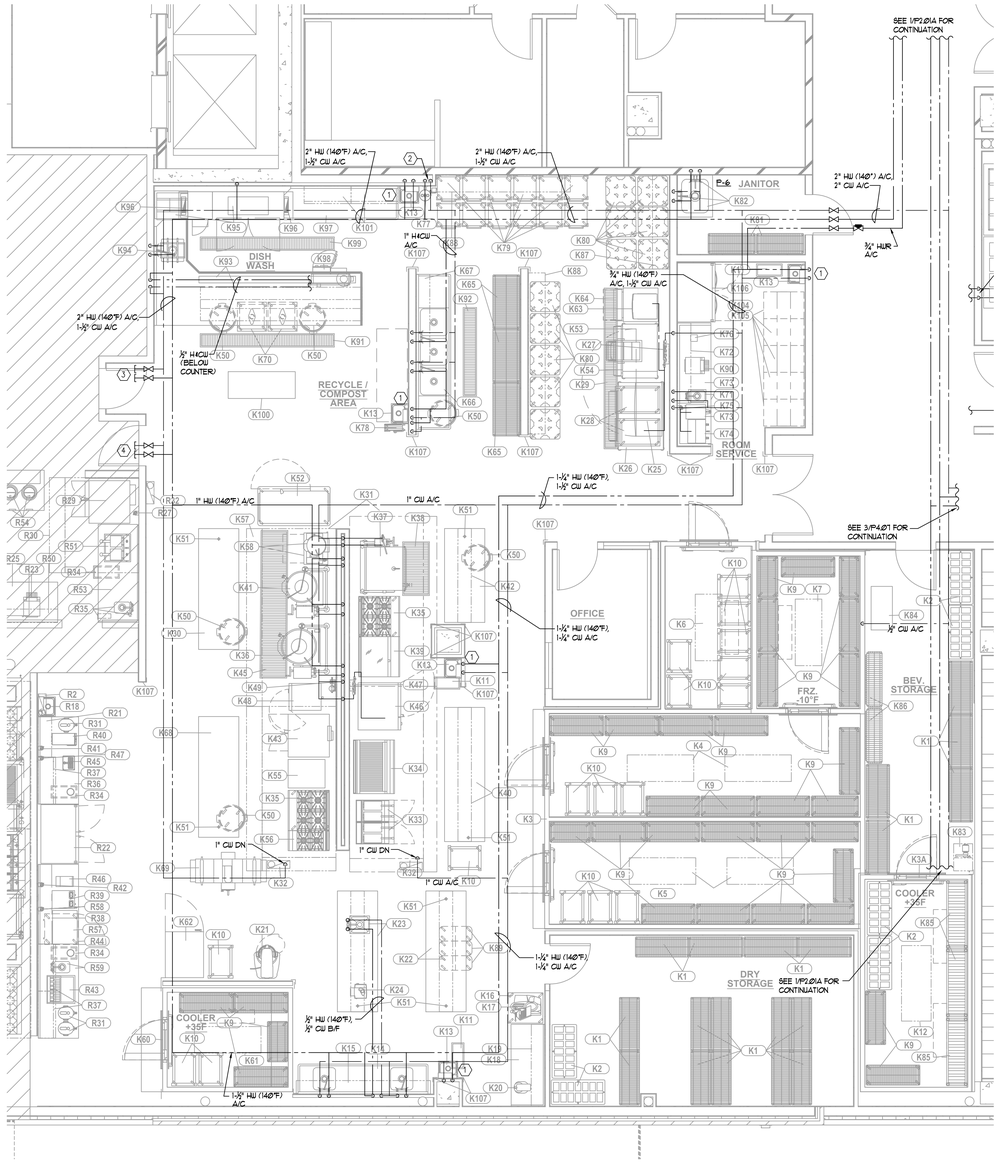
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

LEVEL 1 - ZONE B PART PLANS - PLUMBING

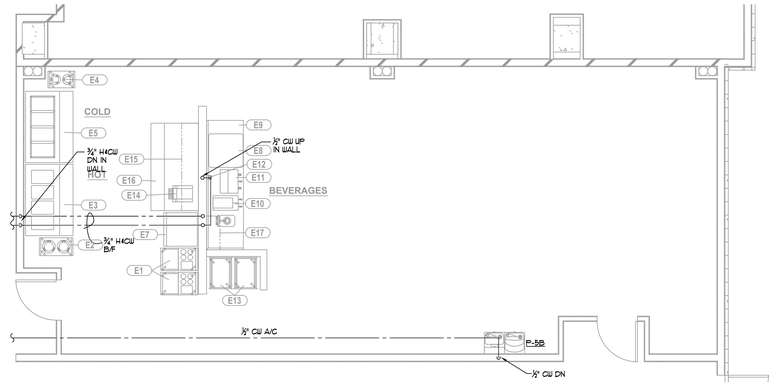
K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

P4.09
Drawing No.

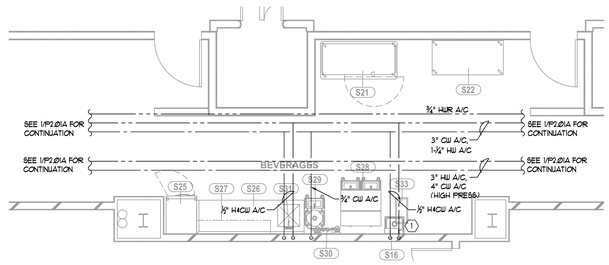
ISSUED FOR CONSTRUCTION



1 P4.10 KITCHEN PART PLAN – DOMESTIC WATER
1/4" = 1'-0"



2 P4.10 EMPLOYEE BREAK RM PART PLAN – DOMESTIC WATER
1/4" = 1'-0"



3 P4.10 LEVEL 1 BANQUET BEVERAGE – DOMESTIC WATER
1/4" = 1'-0"

GENERAL NOTES

(APPLY THIS SHEET ONLY)

1. REFER TO FIXTURE CONNECTION SCHEDULE AND APPROPRIATE DETAILS FOR PIPING SIZES.
2. REFER TO THE ARCHITECTURAL AND KITCHEN CONSULTANT PLANS FOR LOCATIONS OF ALL FIXTURES AND EQUIPMENT. PROVIDE ALL FINAL CONNECTIONS PER KITCHEN CONSULTANT SCHEDULES.
3. PROVIDE BACKFLOW PREVENTERS AT ALL EQUIPMENT CONNECTIONS.
4. LOCATE ALL VALVES IN ACCESSIBLE LOCATIONS.

KEY NOTES

(1) PROVIDE THERMOSTATIC MIXING VALVE AT HAND SINK. SET AT 110°F.
(2) PROVIDE THERMOSTATIC MIXING VALVE AT EMERGENCY EYEWASH. SET AT 85°F.
(3) PROVIDE 1-½" HW (140°F) AND 1-½" CW FUTURE TAPS FOR BAR.
(4) PROVIDE 1-½" HW (140°F) AND 1-½" CW FUTURE TAPS FOR RESTAURANT.

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GEORGIA REGISTERED PROFESSIONAL ENGINEER GREGORY M. JENKINS

ISSUANCES

No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

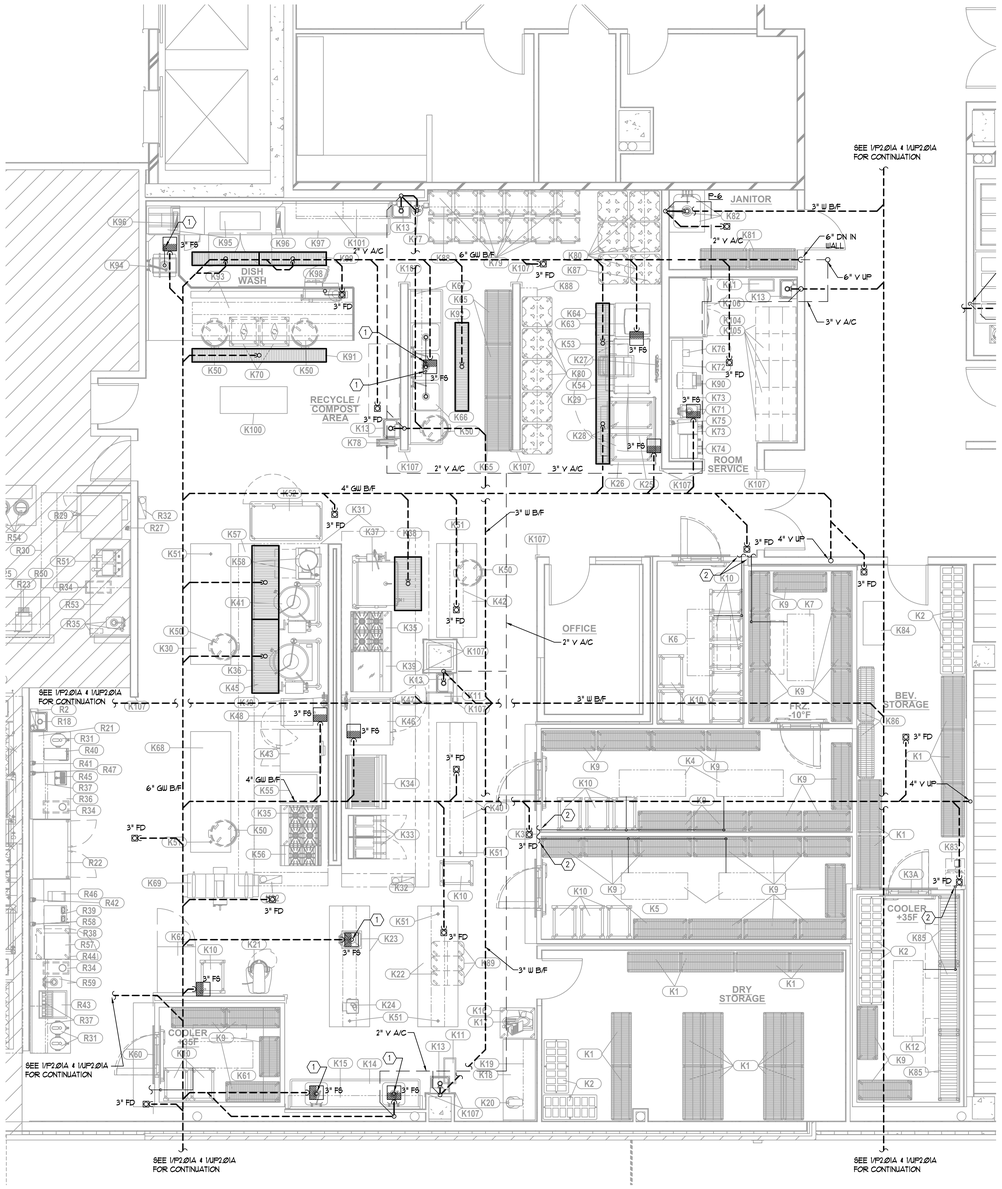
9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

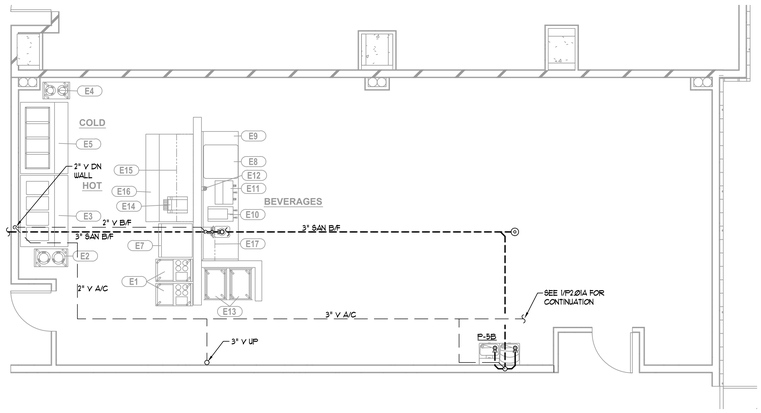
LEVEL 1 - ZONE A KITCHEN PART PLANS - PLUMBING

K. PRICE, Principal-in-Charge	140028, BW&A Project No.
G. JENKINS, Project Engineer	10/17/16, Date
T. MERCER, Drawn By	
	P4.10, Drawing No.

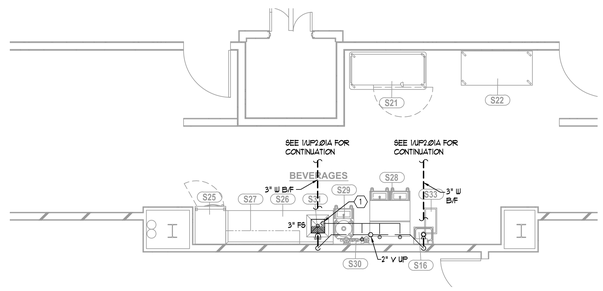
ISSUED FOR CONSTRUCTION



1 P4.11 KITCHEN PART PLAN – SANITARY & VENT
1/4" = 1'-0"



2 P4.10 EMPLOYEE BREAK RM PART PLAN – SANITARY & VENT
1/4" = 1'-0"



3 P4.10 LEVEL 1 BANQUET BEVERAGE – SANITARY & VENT
1/4" = 1'-0"

GENERAL NOTES

(APPLY THIS SHEET ONLY)

1. REFER TO FIXTURE CONNECTION SCHEDULE AND APPROPRIATE DETAILS/RISERS FOR PIPING SIZES.
2. REFER TO THE ARCHITECTURAL AND KITCHEN CONSULTANT PLANS FOR LOCATIONS OF ALL FIXTURES AND EQUIPMENT. PROVIDE ALL FINAL CONNECTIONS PER KITCHEN CONSULTANT SCHEDULES.
3. PROVIDE BACKFLOW PREVENTERS AT ALL EQUIPMENT CONNECTIONS.
4. LOCATE ALL VALVES IN ACCESSIBLE LOCATIONS.

KEY NOTES

(1) ROUTE INDIRECT WASTE PIPE TO FLOOR SINK. SIZE PER KITCHEN CONSULTANT EQUIPMENT SCHEDULE.

(2) ROUTE CONDENSATE FROM EVAPORATOR (SIZE PER MANUFACTURER'S RECOMMENDATIONS) TO DRAIN AS SHOWN.

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GEORGIA REGISTERED PROFESSIONAL ENGINEER KENNETH M. JENKINS

ISSUANCES

No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

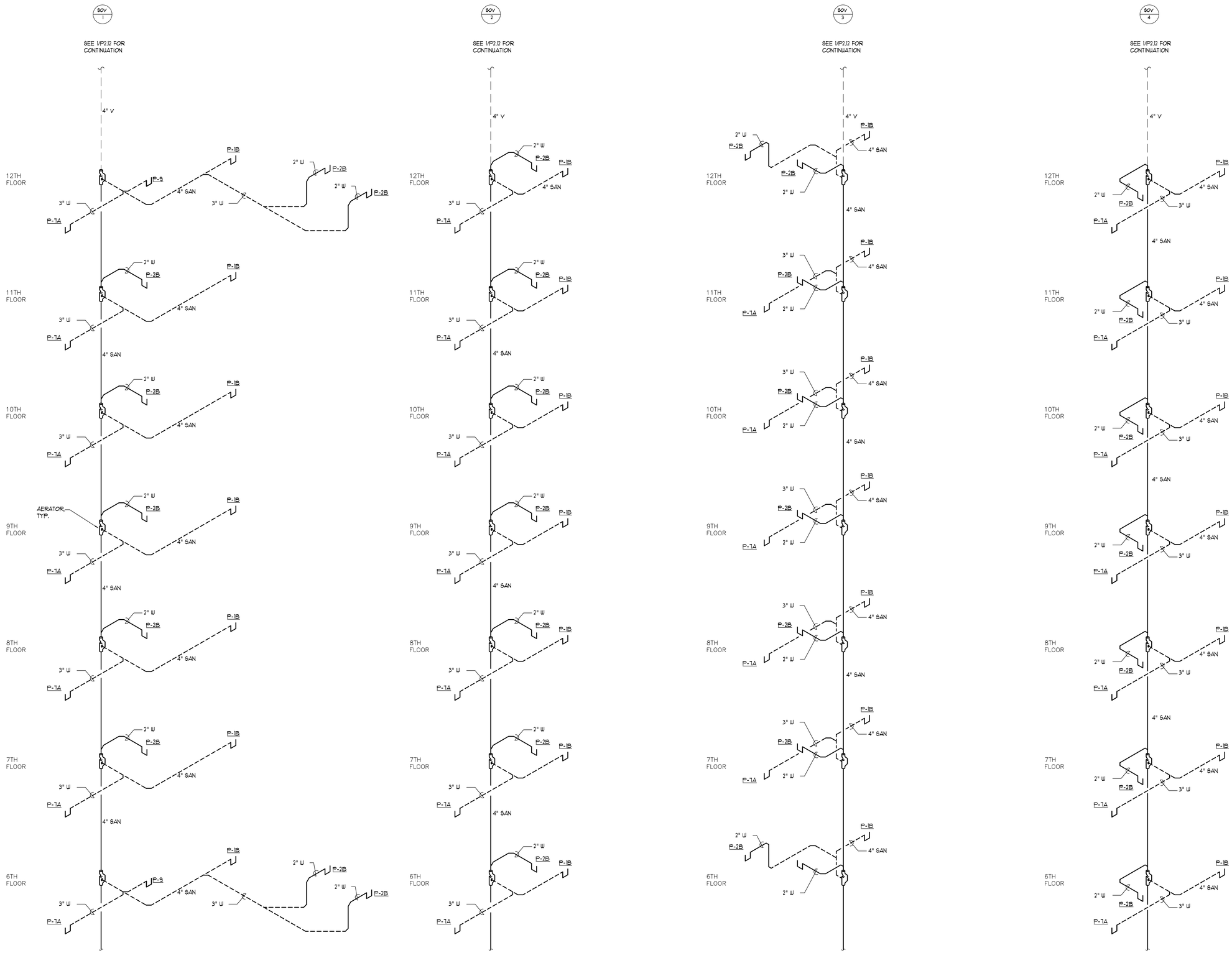
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

LEVEL 1 - ZONE A KITCHEN PART PLANS - PLUMBING

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn by	

P4.11
Drawing No.

ISSUED FOR CONSTRUCTION



1 P5.01 GUESTROOM SOVENT RISER DIAGRAM (FLOORS 6–12)
NO SCALE

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Barrett Woodyard & Associates, Inc
3495 Holcomb Bridge Road
Norcross, GA 30092
Phone (770) 810-8800
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GEORGIA REGISTERED ARCHITECT JEREMY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

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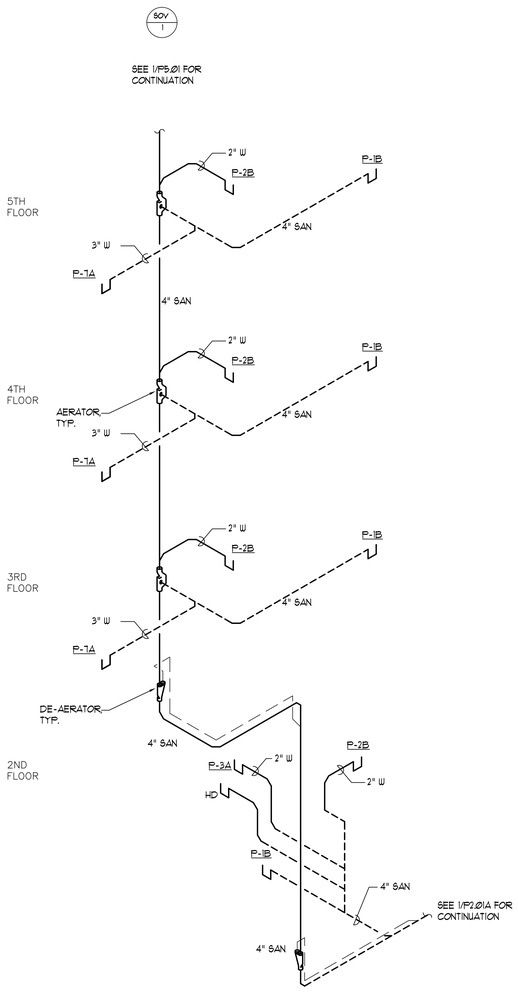
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

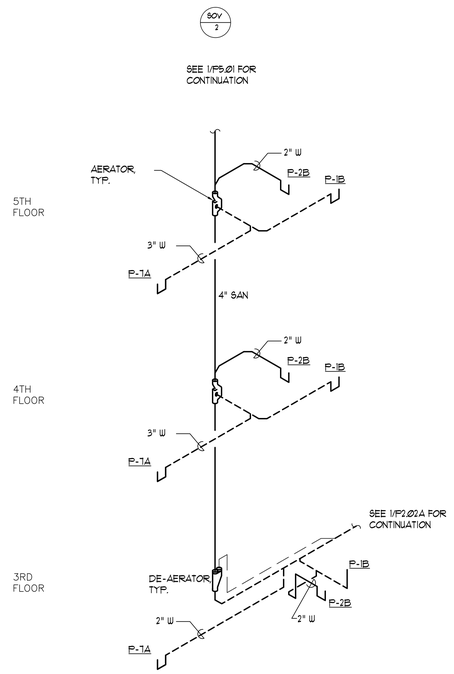
GUESTROOM RISER DIAGRAMS

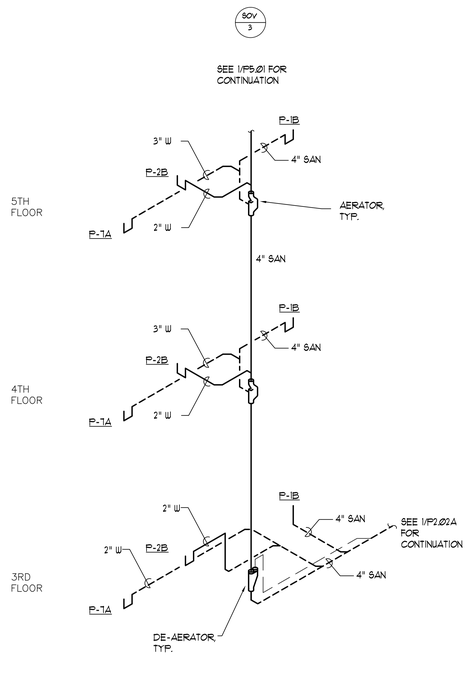
K. PRICE (Principal-in-Charge)	140028 (BW&A Project No.)
G. JENKINS (Project Engineer)	10/17/16 (Date)
T. MERCER (Drawn By)	

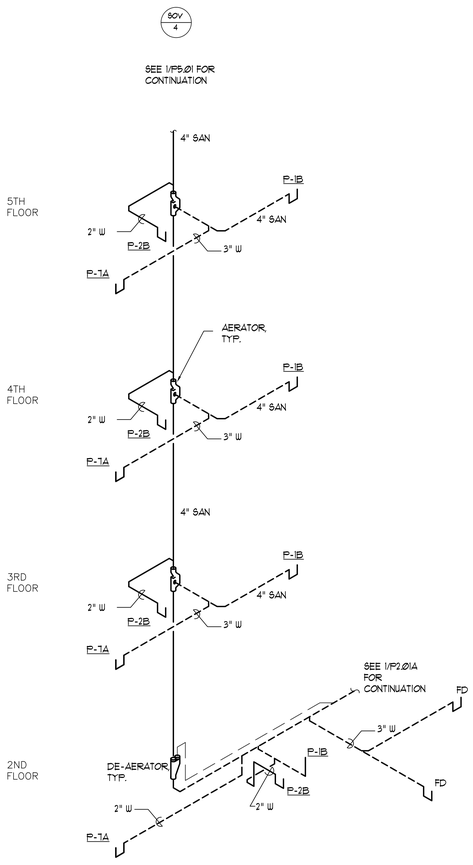
P5.01 (Drawing No.)

ISSUED FOR CONSTRUCTION









1 P5.02 GUESTROOM SOVENT RISER DIAGRAM (FLOORS 6–12)
NO SCALE

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Norcross, GA 30092
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GEORGIA REGISTERED ARCHITECT JEREMY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

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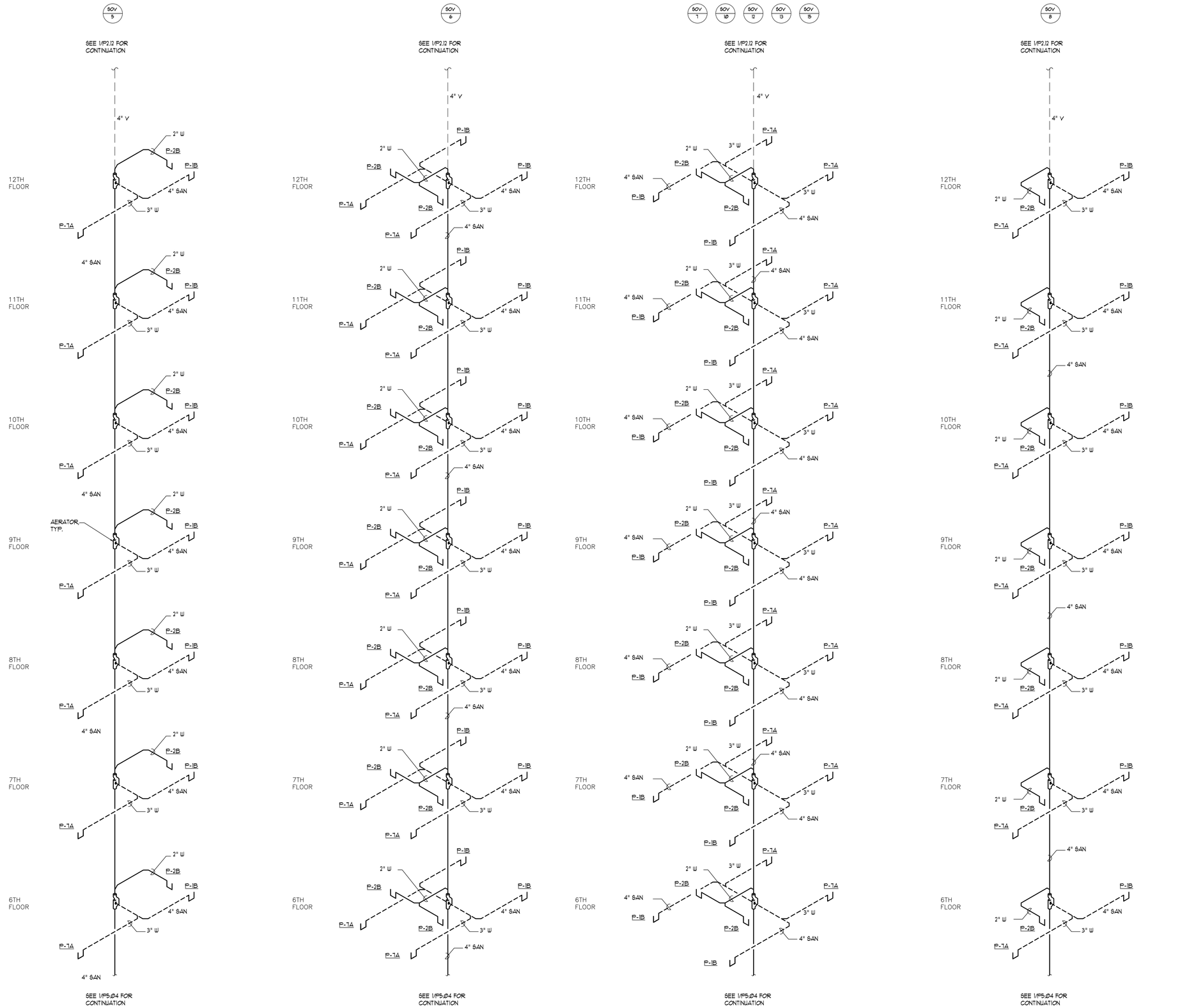
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

GUESTROOM RISER DIAGRAMS

K. PRICE (Principal-in-Charge)	140028 (BW&A Project No.)
G. JENKINS (Project Engineer)	10/17/16 (Date)
T. MERCER (Drawn By)	
	P5.02 (Drawing No.)

ISSUED FOR CONSTRUCTION



1 / P5.03 GUESTROOM SOVENT RISER DIAGRAM (FLOORS 6–12)
NO SCALE

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GEORGIA REGISTERED ARCHITECT
JEREMY M. JENKINS

ISSUANCES

No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

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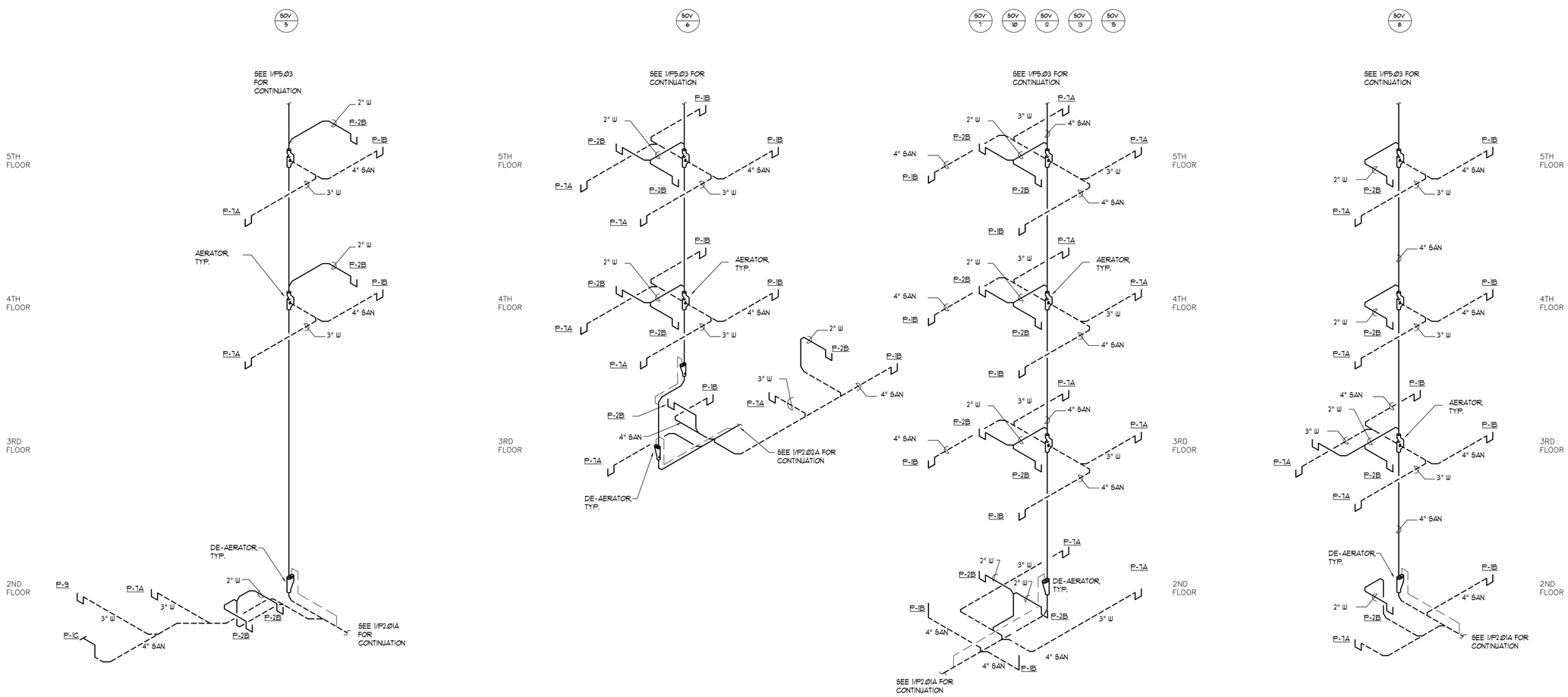
GUESTROOM RISER DIAGRAMS

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn by	
	P5.03
	Drawing No.

ISSUED FOR CONSTRUCTION



1 P5.04 GUESTROOM SOVENT RISER DIAGRAM (FLOORS 6–12)
NO SCALE

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GEORGIA REGISTERED ARCHITECT
JEREMY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

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STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

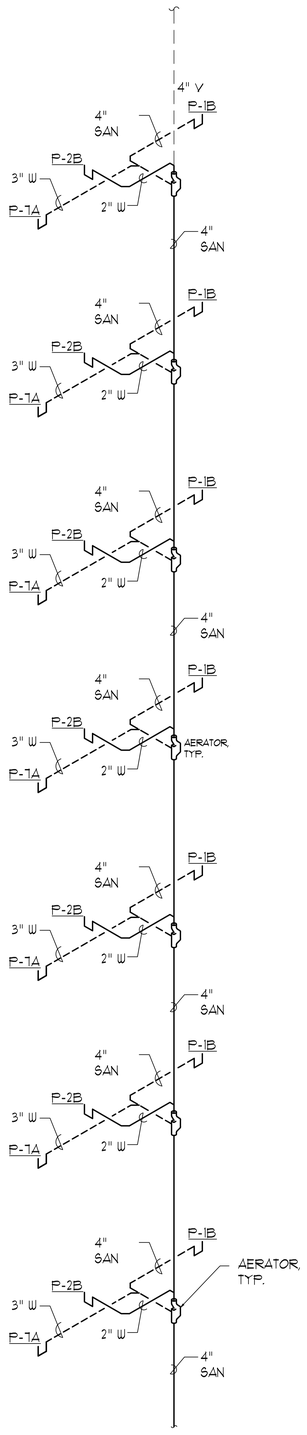
GUESTROOM RISER DIAGRAMS

K. PRICE — Principal-in-Charge	140028 — BW&A Project No.
G. JENKINS — Project Engineer	10/17/16 — Date
T. MERCER — Drawn By	
	P5.04 — Drawing No.

ISSUED FOR CONSTRUCTION

SOV 9

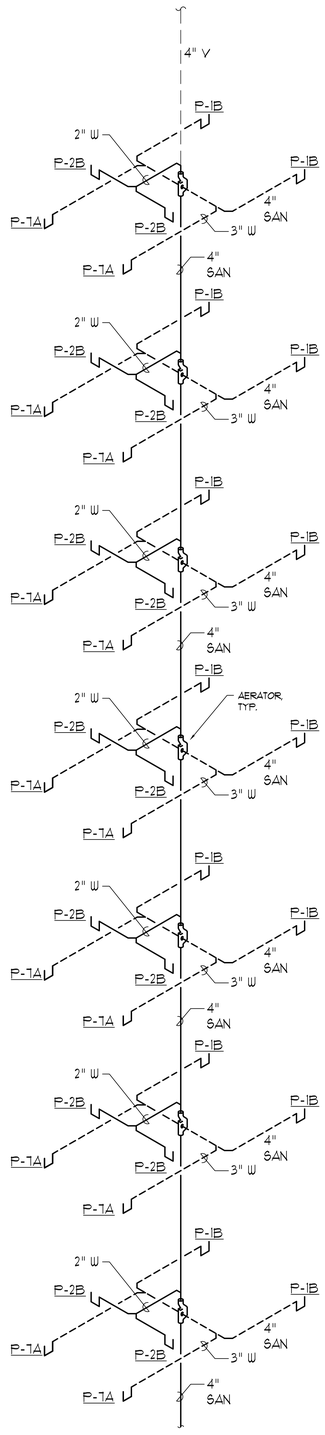
SEE 1/P2.12 FOR CONTINUATION



SEE 1/P5.06 FOR CONTINUATION

SOV 11

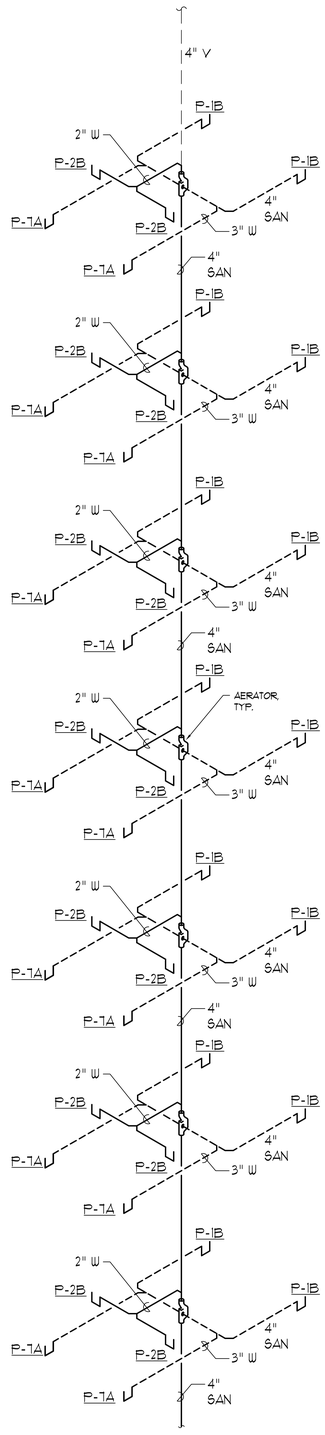
SEE 1/P2.12 FOR CONTINUATION



SEE 1/P5.06 FOR CONTINUATION

SOV 14 SOV 16 SOV 17 SOV 19

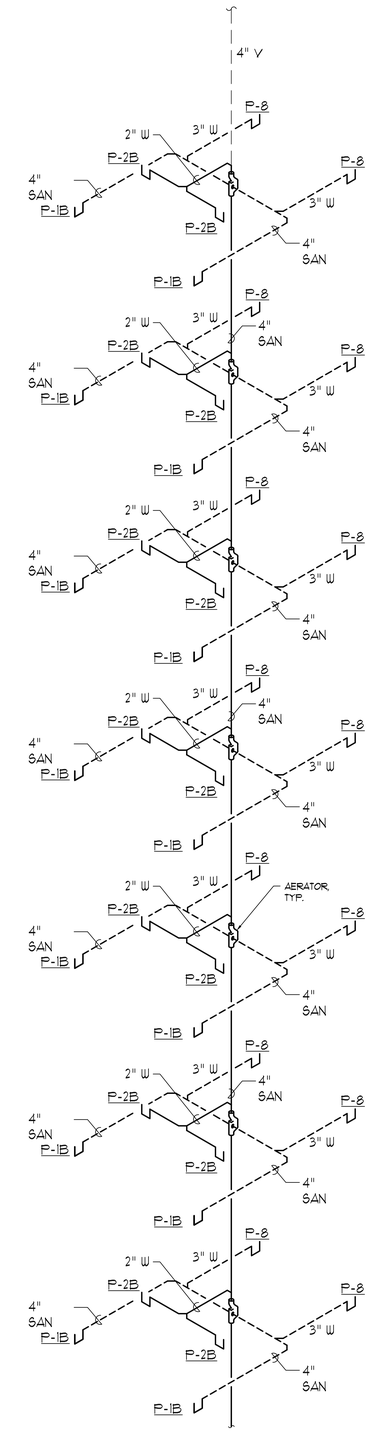
SEE 1/P2.12 FOR CONTINUATION



SEE 1/P5.06 FOR CONTINUATION

SOV 18

SEE 1/P2.12 FOR CONTINUATION



SEE 1/P5.06 FOR CONTINUATION

1 / P5.05 GUESTROOM SOVENT RISER DIAGRAM (FLOORS 6–12)

NO SCALE

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GEORGIA REGISTERED ARCHITECT JEREMY M. JENKINS

ISSUANCES

No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

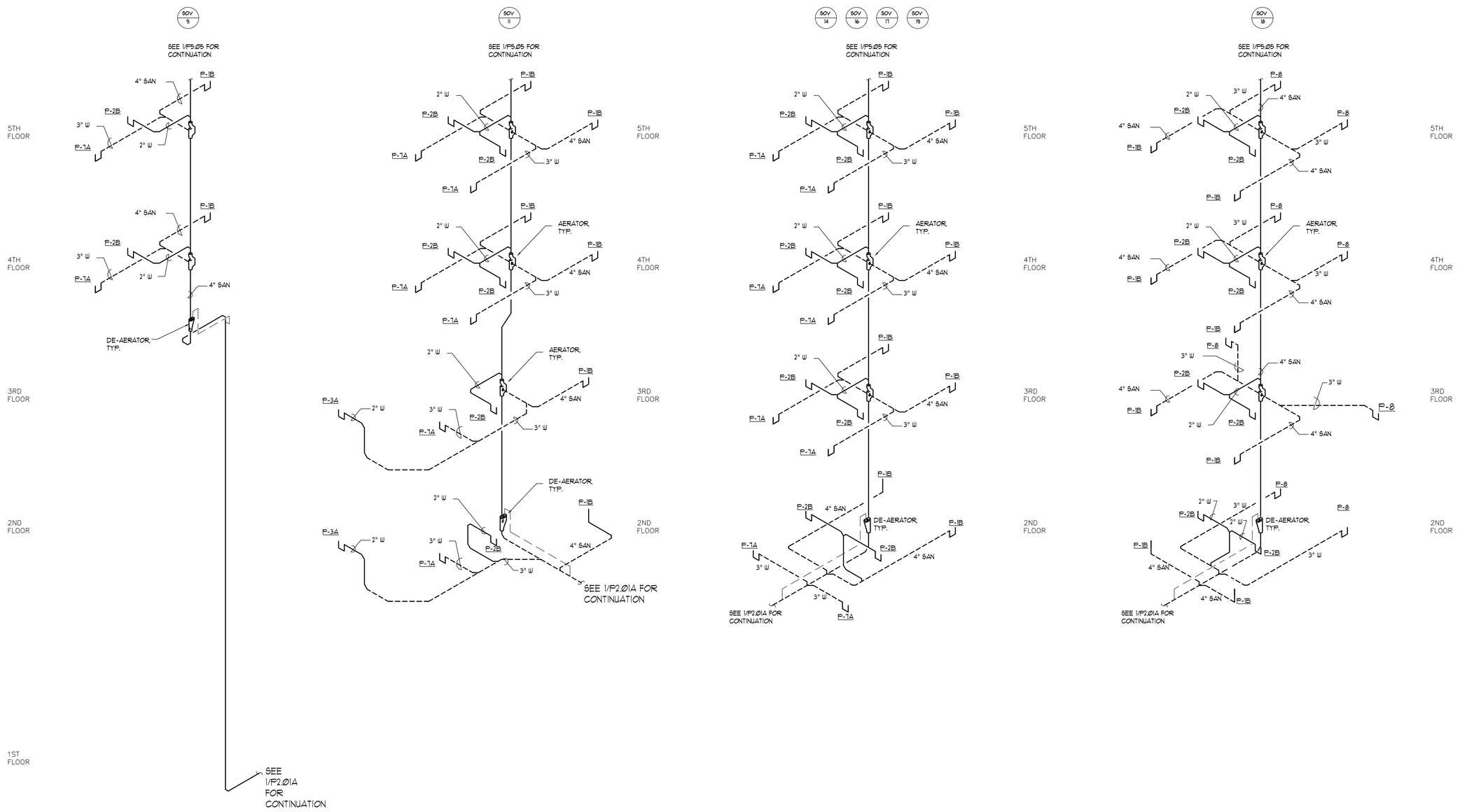
GUESTROOM RISER DIAGRAMS

K. PRICE — Principal-in-Charge	140028 — BW&A Project No.
G. JENKINS — Project Engineer	10/17/16 — Date
T. MERCER — Drawn By	

P5.05

Drawing No.

ISSUED FOR CONSTRUCTION



1 P5.06 GUESTROOM SOVENT RISER DIAGRAM (FLOORS 6–12)
NO SCALE

BW&A
Barrett Woodyard & Associates, Inc
3495 Holcomb Bridge Road
Norcross, GA 30092
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STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

GUESTROOM RISER DIAGRAMS

K. PRICE — Principal-in-Charge	140028 — BW&A Project No.
G. JENKINS — Project Engineer	10/17/16 — Date
T. MERCER — Drawn By	
	P5.06 — Drawing No.

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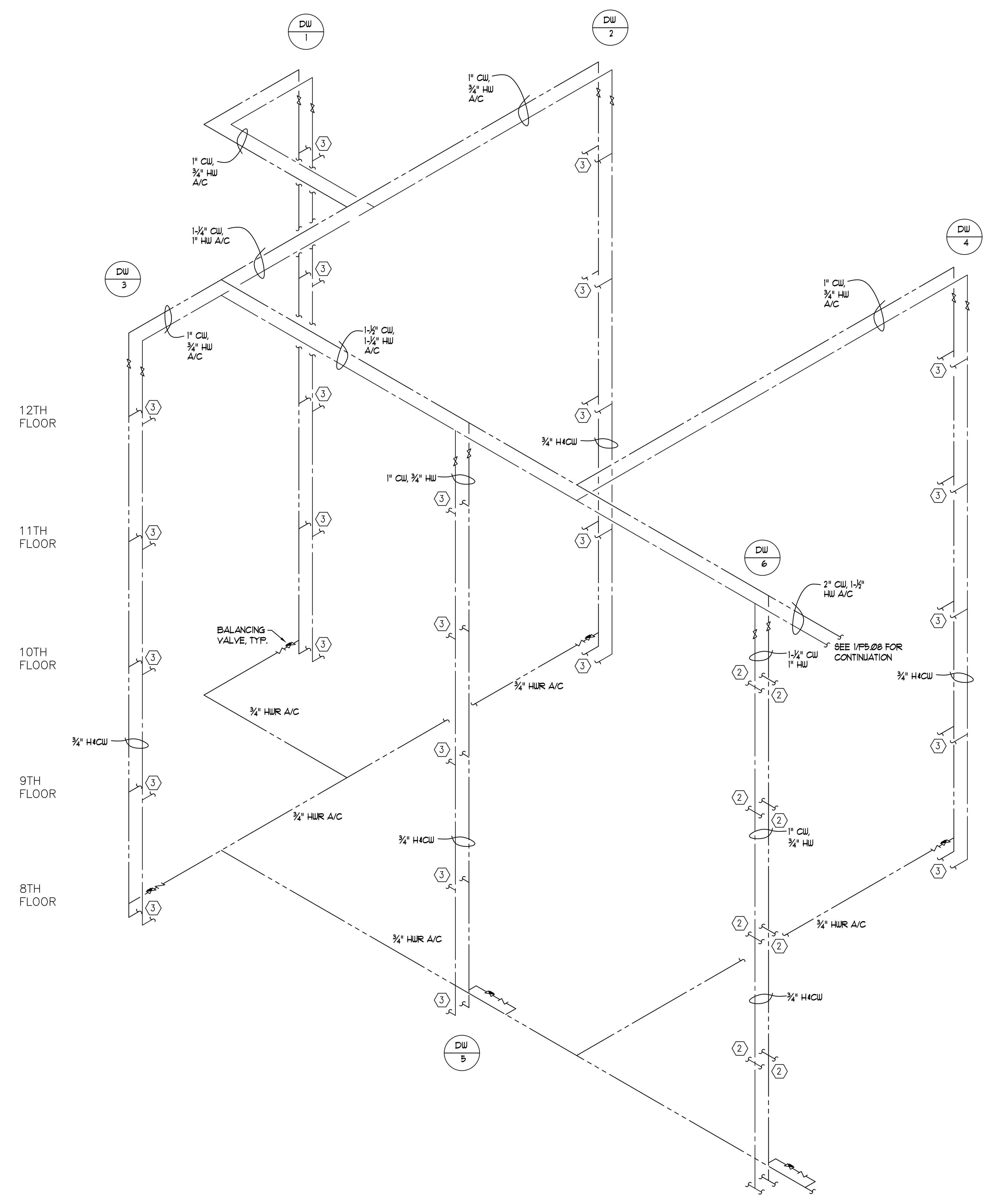

KEY NOTES
(APPLY THIS SHEET ONLY)

1. SEE 1/P5.11 TYPICAL GUESTROOM DOMESTIC WATER RISER DIAGRAM FOR CONTINUATION.
2. SEE 2/P5.11 TYPICAL GUESTROOM DOMESTIC WATER RISER DIAGRAM FOR CONTINUATION.
3. SEE 3/P5.11 TYPICAL GUESTROOM DOMESTIC WATER RISER DIAGRAM FOR CONTINUATION.

1/P5.07 GUESTROOM DOMESTIC WATER RISER DIAGRAM (FLOORS 8–12)

NO SCALE

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GEORGIA REGISTERED No. 032221 PROFESSIONAL ENGINEER GARRY M. JENKINS

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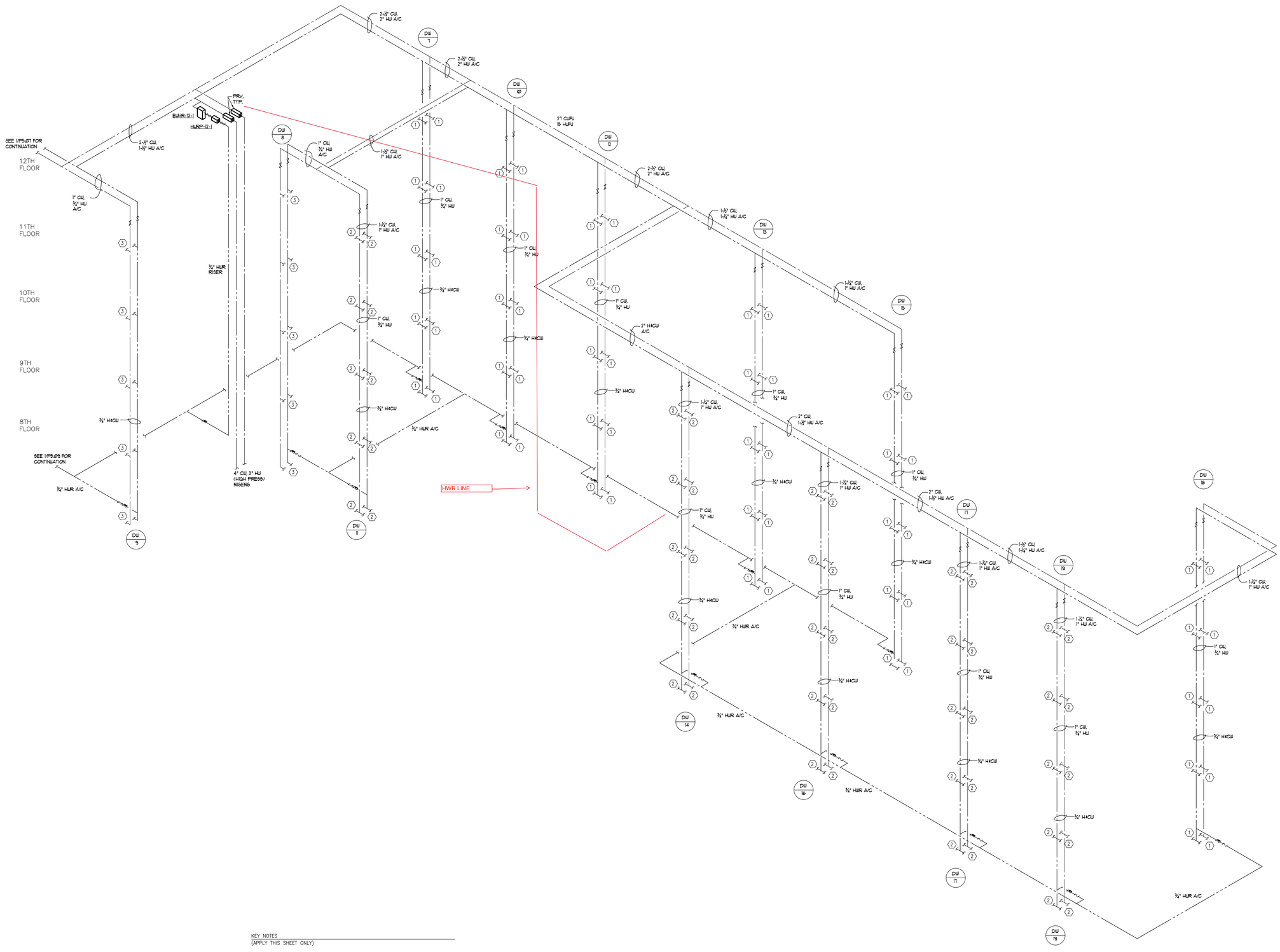
GUESTROOM
RISER DIAGRAMS

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

Drawing No. P5.07

ISSUED FOR CONSTRUCTION



KEY NOTES
(APPLY THIS SHEET ONLY)

1. SEE 1/P5.11 TYPICAL GUESTROOM DOMESTIC WATER RISER DIAGRAM FOR CONTINUATION.
2. SEE 2/P5.11 TYPICAL GUESTROOM DOMESTIC WATER RISER DIAGRAM FOR CONTINUATION.
3. SEE 3/P5.11 TYPICAL GUESTROOM DOMESTIC WATER RISER DIAGRAM FOR CONTINUATION.

1 / P5.08 GUESTROOM DOMESTIC WATER RISER DIAGRAM (FLOORS 8–12)
NO SCALE

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GEORGIA
Registered
Professional
Engineer
JEREMY M. JENKINS

ISSUANCES

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GUESTROOM RISER DIAGRAMS

K. PRICE (Principal-In-Charge)	140028 (BW&A Project No.)
G. JENKINS (Project Engineer)	10/17/16 (Date)
T. MERCER (Drawn By)	

P5.08 (Drawing No.)

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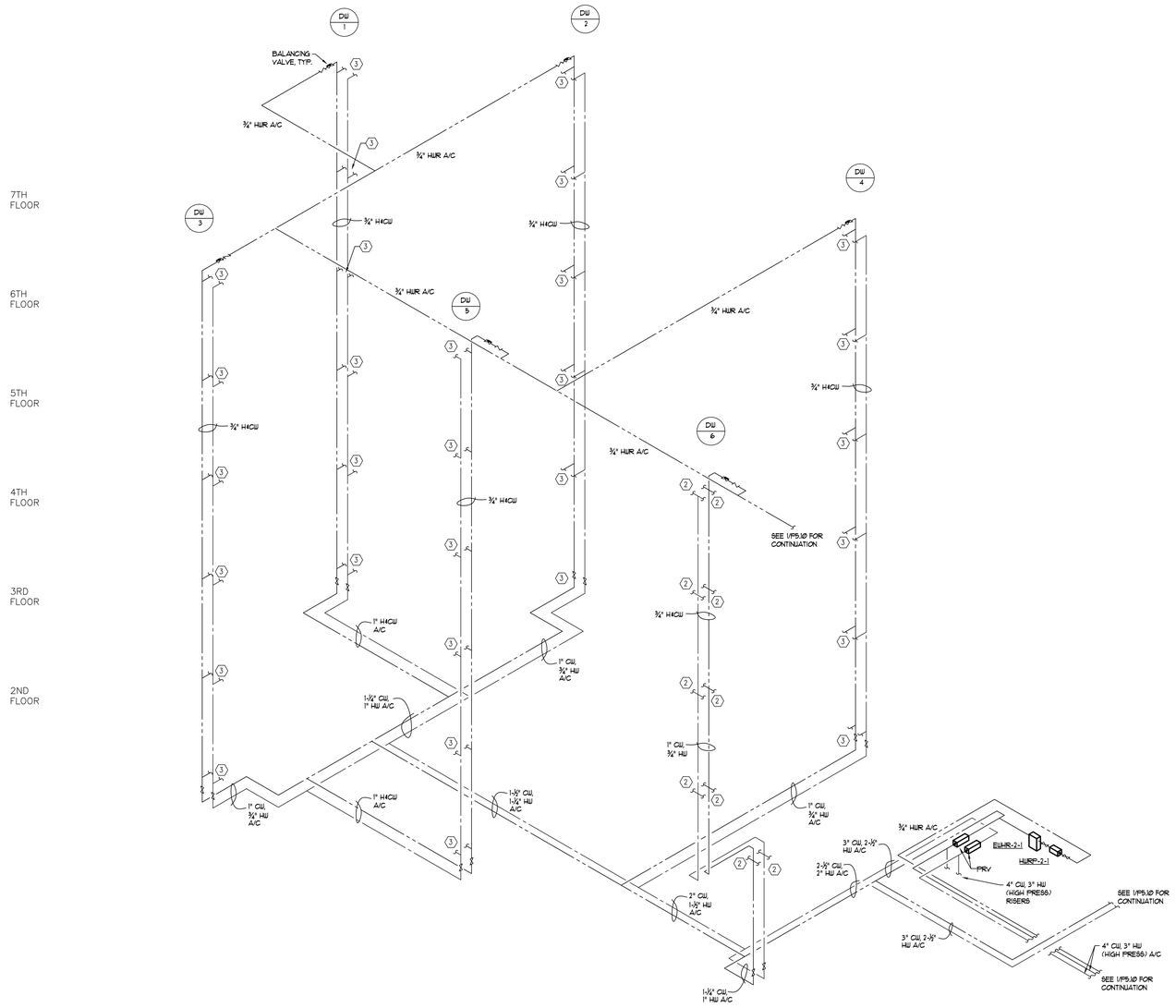

KEY NOTES
(APPLY THIS SHEET ONLY)

1. SEE 1/P5.11 TYPICAL GUESTROOM DOMESTIC WATER RISER DIAGRAM FOR CONTINUATION.
2. SEE 2/P5.11 TYPICAL GUESTROOM DOMESTIC WATER RISER DIAGRAM FOR CONTINUATION.
3. SEE 3/P5.11 TYPICAL GUESTROOM DOMESTIC WATER RISER DIAGRAM FOR CONTINUATION.

1 / P5.09 GUESTROOM DOMESTIC WATER RISER DIAGRAM (FLOORS 2–7)
NO SCALE

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GEORGIA REGISTERED PROFESSIONAL ENGINEER JEREMY M. JENKINS

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T. MERCER (Drawn By)	
	P5.09 (Drawing No.)

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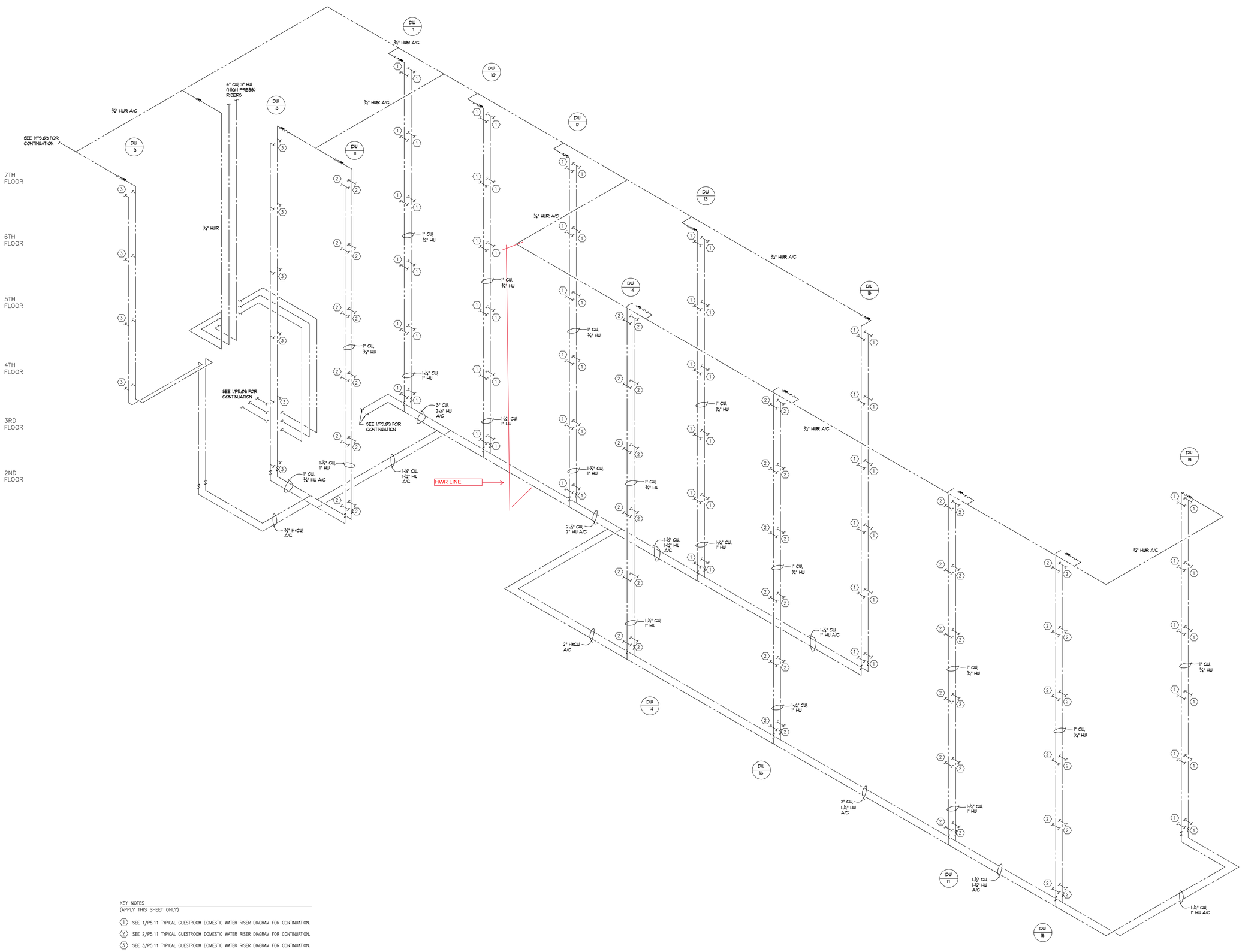

KEY NOTES
(APPLY THIS SHEET ONLY)

1. SEE 1/P5.11 TYPICAL GUESTROOM DOMESTIC WATER RISER DIAGRAM FOR CONTINUATION.
2. SEE 2/P5.11 TYPICAL GUESTROOM DOMESTIC WATER RISER DIAGRAM FOR CONTINUATION.
3. SEE 3/P5.11 TYPICAL GUESTROOM DOMESTIC WATER RISER DIAGRAM FOR CONTINUATION.

1 / P5.10 GUESTROOM DOMESTIC WATER RISER DIAGRAM (FLOORS 2–7)
NO SCALE

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GEORGIA REGISTERED ARCHITECT — JEREMY M. JENKINS

ISSUANCES

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	P5.10 — Drawing No.

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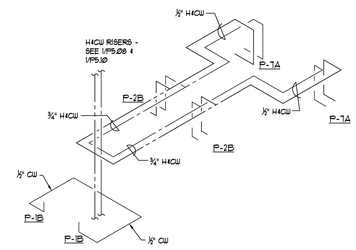
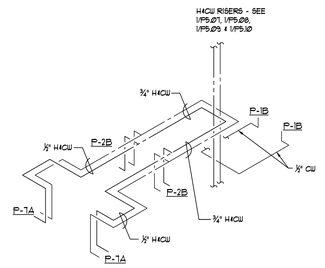


1 P5.11 TYP. GUESTROOM DOMESTIC WATER RISER
NO SCALE



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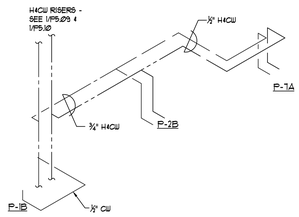
NO SCALE



3 P5.11 TYP. GUESTROOM DOMESTIC WATER RISER
NO SCALE

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GEORGIA REGISTERED PROFESSIONAL ENGINEER JEREMY M. JENKINS

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GUESTROOM RISER DIAGRAMS

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G. JENKINS — Project Engineer
T. MERCER — Drawn By

140028 — BW&A Project No.
10/17/16 — Date

P5.11 — Drawing No.

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ABBREVIATIONS

A/C	ABOVE CEILING
AD	ACCESS DOOR
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
AUTO	AUTOMATIC
AC	AIR CONDITIONING
AHU	AIR HANDLING UNIT
ARP	ACID RESISTANCE PIPING
BAL	BALANCING
B/F	BELOW FLOOR
B/G	BELOW GRADE
BHP	BRAKE HORSEPOWER
BCO	BASE CLEANOUT
CW	COLD WATER (DOMESTIC)
CO	CLEANOUT
DN	DOWN
DR	DRAIN
do	DITTO
DWG	DRAWING
EA	EACH
ECC	ECCENTRIC
EFF	EFFICIENCY
EOD	EMERGENCY OVERFLOW DRAIN
EWT	ENTERING WATER TEMPERATURE
FAV	FRESH AIR VENT
FCO	FLOOR CLEANOUT
FD	FLOOR DRAIN
FLR	FLOOR
FOB	FLAT ON BOTTOM
FOT	FLAT ON TOP
FPM	FEET PER MINUTE
FPS	FEET PER SECOND
FT	FEET
G	GATE
GA	GAUGE
GPM	GALLONS PER MINUTE
GL	GLOBE
GCO	GRADE CLEANOUT
HD	HUB DRAIN
HP	HORSEPOWER
HTG	HEATING
HW	HOT WATER (DOMESTIC)
HWR	HOT WATER RETURN
HWRR	HOT WATER REVERSE RETURN
HWS	HOT WATER SUPPLY
ID	INSIDE DIMENSION
IN	INCHES
KW	KITCHEN WASTE
LB	POUNDS
LWR	LOOP WATER RETURN
LWS	LOOP WATER SUPPLY
MIN	MINIMUM
MAX	MAXIMUM
MFR	MANUFACTURER
NC	NORMALLY CLOSED
NG	NATURAL GAS
NFGH	NON-FREEZE GROUND HYDRANT
NFWH	NON-FREEZE WALL HYDRANT
NO	NORMALLY OPEN
NOM	NOMINAL
OD	OVERFLOW DRAIN
PSI	POUNDS PER SQUARE INCH
RAD	RADIUS
RED	REDUCER
RS	REFRIGERANT SUCTION
RTU	ROOFTOP UNIT
SAN	SANITARY
SQ	SQUARE
ST	STORM
TEMP	TEMPERATURE
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
V	VENT
VA	VALVE
VTR	VENT THRU ROOF
WC	WATER COLUMN
WHA	WATER HAMMER ARRESTOR
WT	WEIGHT
W	WASTE

PLUMBING LEGEND

	COLD WATER
	HOT WATER
	HOT WATER RECIRCULATION
	VENT
	SANITARY WASTE
	GAS
	WORK TO BE REMOVED
R	FLOOR DRAIN
	HOSE BIBB
	FLOOR CLEAN-OUT
	WALL CLEAN-OUT
	GATE VALVE
	BALL VALVE

PUMP SCHEDULE

I.D. TAG	FLUID	TYPE OF PUMP	FLOW (GPM)	HEAD (FT.)	MOTOR H.P.	VOLTS/ PHASE	BASIS OF DESIGN	REMARKS
DWP-1	WATER	BOOSTER PUMP	200	125	7.5 (3)	460/3	SYNCROFLO TRIPLEX W/ VFD	③④⑥⑦
DHWP-1	WATER	BOOSTER PUMP	125	125	5 (3)	460/3	SYNCROFLO TRIPLEX W/ VFD	③④⑥⑦
HWRP – TYP	WATER	RECIRCULATION PUMP	5	12	1/6	120/1	B&G PR	①②
SP-A	WATER	ELEVATOR PIT	50	35	1/2	120/1	ZOELLER FLOW-MATE	⑤

① BRONZE CONSTRUCTION
② PROVIDE AQUASTAT AND AUTOMATIC TIMER
③ PROVIDE INTEGRAL CONTROLLER. INTERLOCK ALL ALARMS WITH BUILDING EMS. PROVIDE PRESSURE SENSOR ON "CITY" SIDE OF SERVICE AND SEND MEASUREMENTS TO EMS.
④ UNIT SHALL BE SKID MOUNTED. PROVIDE WITH ALL NECESSARY STARTERS, VFDS AND CONTROLS FOR A COMPLETE DOMESTIC WATER BOOSTER PUMP PACKAGE.
⑤ PROVIDE OIL SMART OIL SENSOR/CONTROLLER TO LOCK OUT PUMP UPON DETECTION OF OIL. PROVIDE ALARM TO BUILDING EMS.
⑥ PROVIDE HYDROCUMULATOR TANK SIZED TO MATCH SYSTEM. LOCATE AT TOP OF RISER.
⑦ TRIPLEX PUMP – EACH PUMP SIZED FOR 50% FLOW.

GAS WATER HEATER SCHEDULE

I.D. TAG	TANK CAPACITY (GALLONS)	INPUT (MBH)	RECOVERY @ 100° F (GPH)	MIN. EFF.	FUEL	VOLTS/ PHASE	BASIS OF DESIGN	REMARKS
HWB-1	–	2,070	2,133	85%	NAT. GAS	120/1	LOCHINVAR CFN2072PM	① ②
HWB-2	–	2,070	2,133	85%	NAT. GAS	120/1	LOCHINVAR CFN2072PM	① ②

① PROVIDE SYSTEM WITH A 1,000 GALLON, GLASS LINED, VERTICAL STORAGE TANK (ST-1) FOR STORAGE OF 140° F WATER. PROVIDE INSULATED JACKET OVER ENTIRE TANK.
② UNIT SHALL COME WITH THE BOILER CIRC PUMP.
③ PROVIDE WITH MODULATING FIRING CONTROLS AND UNIT DISCONNECT.
④ PROVIDE WITH SIDEWALL DIRECT VENT KIT FOR FLUE AND COMBUSTION AIR.

ELECTRIC WATER HEATER SCHEDULE

I.D. TAG	TYPE OF WATER HEATER	TANK CAPACITY (GALLONS)	RECOVERY @ 60°F (GPH)	POWER INPUT	ELEC. CHAR. (VOLTS/PHASE)	BASIS OF DESIGN	REMARKS
EWHR-2-1	INSTANT	–	–	9 KW	277V/1	EEMAX	
EWHR-12-1	INSTANT	–	–	9 KW	277V/1	EEMAX	

GENERAL NOTES (APPLY TO ALL SHEETS):

1. ALL HORIZONTAL SANITARY, WASTE, STORM, AND VENT PIPING SHALL BE SLOPED AT 1/8" PER FOOT IN THE DIRECTION OF FLOW, UNO.

2. REFER TO KITCHEN CONSULTANT PLANS FOR ALL FIXTURE CONNECTION SIZES IN KITCHEN/BAR/BUFFET AREAS. PROVIDE ALL FINAL PLUMBING CONNECTIONS FOR ALL FIXTURES AND EQUIPMENT. PROVIDE INLINE BACKFLOW PREVENTERS AT ALL EQUIPMENT CONNECTIONS.

3. PROVIDE TWO-STAGE ROOF OR AREA DRAINS AS REQUIRED – REFER TO ARCHITECTURAL PLANS FOR ROOF CONSTRUCTION.

4. PROVIDE CLEANOUTS ON ALL STORM/WASTE/SANITARY PIPING INCLUDING AT THE BASE OF ALL RISERS AND AT ALL INSTANCES REQUIRED BY THE PLUMBING CODE. CLEANOUTS SHALL BE LOCATED SO THEY ARE ACCESSIBLE.

5. PROVIDE HEAT TRACE AND INSULATION OVER ALL WATER CARRYING PIPING IN UNCONDITIONED AREAS, INCLUDING ANY SANITARY/GREASE WASTE TRAPS.

6. PROVIDE ACCESS PANELS IN GYP. CEILINGS AS REQUIRED TO ACCESS EQUIPMENT, CLEANOUTS, VALVES, ETC.. PANELS SHALL BE AS SPECIFIED BY THE ARCHITECT. EXACT SIZES AND LOCATIONS SHALL BE COORDINATED DURING SHOP DRAWINGS. FINAL AUTHORITY OVER SIZE AND LOCATION SHALL REST WITH THE ARCHITECT AND AHJ.

7. PROVIDE THERMOSTATIC MIXING VALVES AT ALL HAND SINKS. SET TO 110°F.

PLUMBING FIXTURE SCHEDULE ②

TAG	FIXTURE	CW	HW	SAN / WASTE	VENT	
P-1A, P-1A(H)	PUBLIC WATER CLOSET	1/2"	---	4"	2"	
BASIS OF DESIGN:	American Standard "Afwall Flowise" #3351.128, vitreous china, wall hung, siphon jet action, 1.3 GPF, elongated closet bowl with 1 1/2" top spud complete with carriers selected to match the chase size indicated. Flush valves shall be Sloan "Royal." Fixtures P-1AH shall be similar, except that they shall be mounted in accordance with the handicap code.					
P-1B	GUESTROOM WATER CLOSET	1/2"	---	4"	2"	
BASIS OF DESIGN:	16-½" high handicapped style, bottom outlet; American Standard "Cadet 3", 1.28 GPF, #3378AB.128ST complete with tank, bowl, flush valve unit, anti-syphon float valve, chromed lever and supply stop.					
P-1C	PRES. SUITE WATER CLOSET	1/2"	---	4"	2"	
BASIS OF DESIGN:	16-½" high handicapped style, Floor-Mounted, back outlet; American Standard "Yorkville", 1.28 GPF, #2878.100 complete with tank, bowl, flush valve unit, pressure-assisted siphon jet flush action, chromed lever and supply stop.					
P-2A	PUBLIC LAVATORY	3/4"	3/4"	3"	2"	
BASIS OF DESIGN:	American Standard "Ovalyn" #0497-221, 21" x 17" vitreous china, undercounter, oval lavatory complete with front overflow and 1 1/4" drain. Fittings shall include American Standard Battery operated "Selectronic" faucet #6055.163 with lever handles, chrome-plated finish, vandal resistant aerator, chrome-plated tailpieces, strainers, P-trap, supply stops, anchoring clips and all other trim. Wall supply stops, drains and tailpieces shall be offset wheelchair type.					
P-2B	GUESTROOM LAVATORY	3/4"	3/4"	3"	2"	
BASIS OF DESIGN:	See Interior Design Plans.					
P-3A	GUESTROOM BAR SINK	3/4"	3/4"	3"	2"	
BASIS OF DESIGN:	See Interior Design Plans.					
P-4A	PUBLIC URINAL	3/4"	---	3"	2"	
BASIS OF DESIGN:	American Standard "Washbrook Flowise", vitreous china, 0.5 GPF, wall hung, washout flush with integral flushing rim and ¾" top spud. Flush valve shall be exposed, battery powered, sensor operated Sloan "G2 Optima Plus" #8186-0.5or approved equal.					
P-5A	PUBLIC DRINKING FOUNTAIN	1/2"	---	2"	1-1/2"	
BASIS OF DESIGN:	Combination standard height and barrier-free, stainless steel drinking fountain and shall provide ample leg room and easy access from sitting position. Fountain shall include self-closing, semi-circular push bar with full 180-degree directional activation, contour-formed oval shape receptor to eliminate splashing and standing water and shall have rounded corners and edges. Fountain shall be complete with stainless steel back panel. Projector shall be chrome-plated two-stream, mound-building type with integral hood guard, stream height regulator and anti-squirt feature. Drinking fountains shall be Halsey Taylor Model OVL II-EBP with each drinking fountain served by a Model SJS-Q remote chiller certified by ARI to meet Standard 1010. Capacity shall be 8.0 GPH of 50 degrees F. chilled water at 90 degrees F. ambient. Provide service stops on inlet and outlet of chiller. Chiller shall operate on 120 volts, 1 phase power supply.					
P-5B	PUBLIC DRINKING FOUNTAIN	1/2"	---	2"	1-1/2"	
BASIS OF DESIGN:	Barrier free spilt level surface mounted electric water cooler with a bottle filling station; each complete with P-trap and supply service stops. Electric water cooler shall deliver 8.0 GPH of 50 degrees F. water at 90 degrees F. inlet water. Cooler shall have horizontal stainless steel top. Bubbler shall have flexible guard and operate between 20 and 120 psi. Separate valve and diaphragm-type automatic stream regulator shall be mounted with cabinet. Refrigeration system shall employ high efficiency, positive start compressor, non-pressurized counter-flow cooling coil with totally encapsulated insulation and shall be controlled by an integral, adjustable thermostat. Coolers shall have front pushbar water controls with raised lettering for the visually impaired. Bottle filling unit shall have an electronic sensor for no-touch activation with an automatic shutoff. Bottle filler shall meet ADA guidelines for parallel approach. Coolers shall comply with ANSI 117.1 for both visual and motion disabilities and ADA. Cabinet shall have removable front panels and be finished in a neutral-gray baked enamel. Coolers shall be certified by ARI to meet Standard 1010. Coolers shall be Elkay EZSTL8WSLK.					
P-6A	JANITOR SINK	1/2"	1/2"	2"	2"	
BASIS OF DESIGN:	American Standard "Flowwell" #7745.811 enameled cast iron, corner floor service sink, 28" x 28" size, complete with removable vinyl coated rim guard, service sink faucet, American Standard Model 8344.112 with vacuum breaker, integral stops, wall brace, 5' rubber hose and wall hook, and strainer with flat metal grid for 3" I.P.S connection.					
P-7A	GUESTROOM SHOWER	1/2"	1/2"	2"	2"	
BASIS OF DESIGN:	See Interior Design Plans.					
P-7B	LOCKER ROOM SHOWER	1/2"	1/2"	2"	2"	
BASIS OF DESIGN:	Shower faucets and headsets shall be Kohler Model K-72422-CP showerhead with Kohler Model K-98362 Slidebar Kit. 1.5 GPM flow rate. Provide with diverter.					
P-8	GUESTROOM BATHTUB	1/2"	1/2"	2"	2"	
BASIS OF DESIGN:	See Interior Design Plans.					
FD	FLOOR DRAIN	1/2" *	---	3"	2"	
FS	FLOOR SINK	1/2" *	---	3"	2"	
HD	HUB DRAIN	1/2" *	---	3"	2"	

① PROVIDE ALL FLOOR DRAINS, FLOOR SINKS, AND HUB DRAINS WITH AUTOMATIC TRAP PRIMER.
② SANITARY PIPE SIZING IS BASED ON 1/8" SLOPE PER FOOT.

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GEORGIA REGISTERED PROFESSIONAL ENGINEER JENNIFER M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

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STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

ABBREVIATIONS, LEGEND, SCHEDULES, & DETAILS - PLUMBING

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

P7.01

Drawing No.

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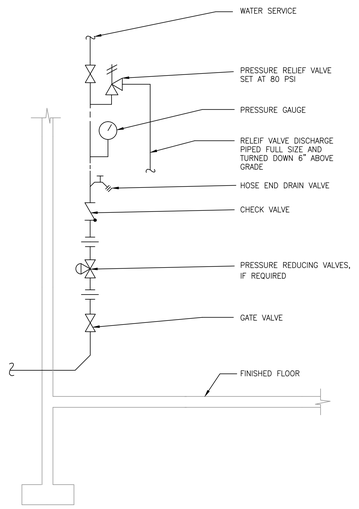
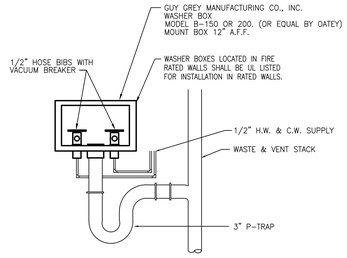
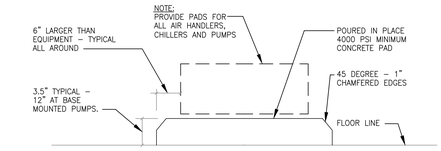


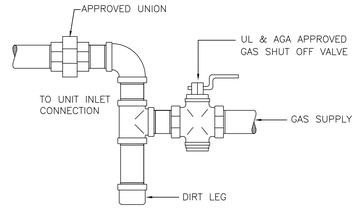
1 P7.02 WATER SERVICE RISER
NO SCALE



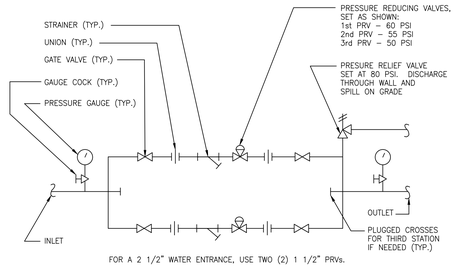
4 P7.02 LAUNDRY BOX DETAIL
NO SCALE



7 P7.02 MECHANICAL EQUIPMENT PAD DETAIL
NO SCALE



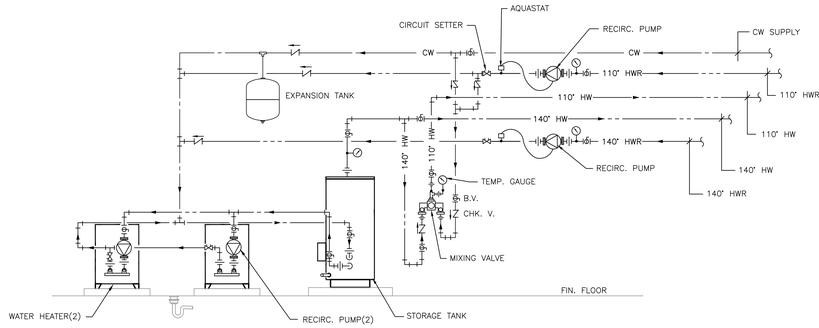
8 P7.02 GAS CONNECTION
NO SCALE



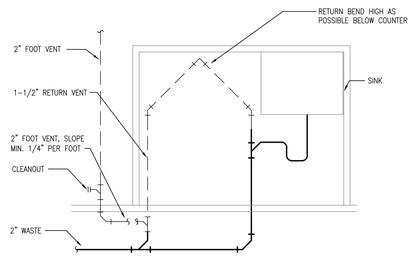
FOR A 2 1/2" WATER ENTRANCE, USE TWO (2) 1 1/2" PRVs.
FOR A 3 " WATER ENTRANCE, USE TWO (2) 2" PRVs.
FOR A 4" WATER ENTRANCE, USE (3) 2" PRVs.

2 P7.02 PRESSURE REDUCING STATION
NO SCALE

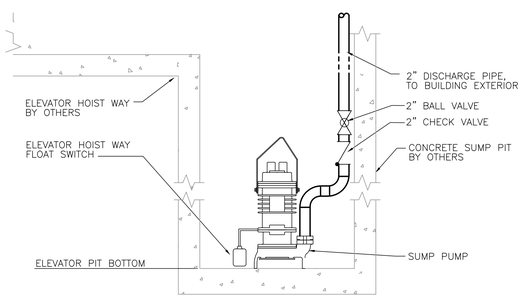
NOTE: REQUIRED ON 2 1/2" THROUGH 4" WATER ENTRANCES



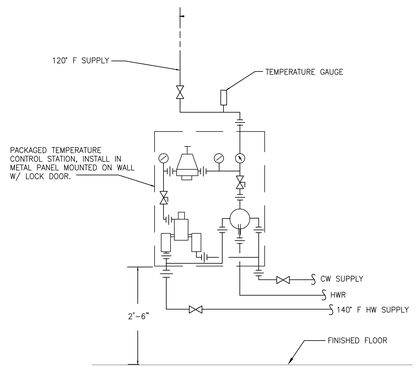
5 P7.02 DOMESTIC WATER BOILER CONNECTION DETAIL
NO SCALE



9 P7.02 ISLAND LOOP VENT DETAIL
NO SCALE



3 P7.02 ELEVATOR SUMP PUMP DETAIL
NO SCALE



6 P7.02 MIXING VALVE DETAIL
NO SCALE

BW&A
Barrett Woodyard & Associates, Inc
3495 Holcomb Bridge Road
Norcross, GA 30092
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ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

DETAILS
PLUMBING

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

P7.02
Drawing No.

ISSUED FOR CONSTRUCTION

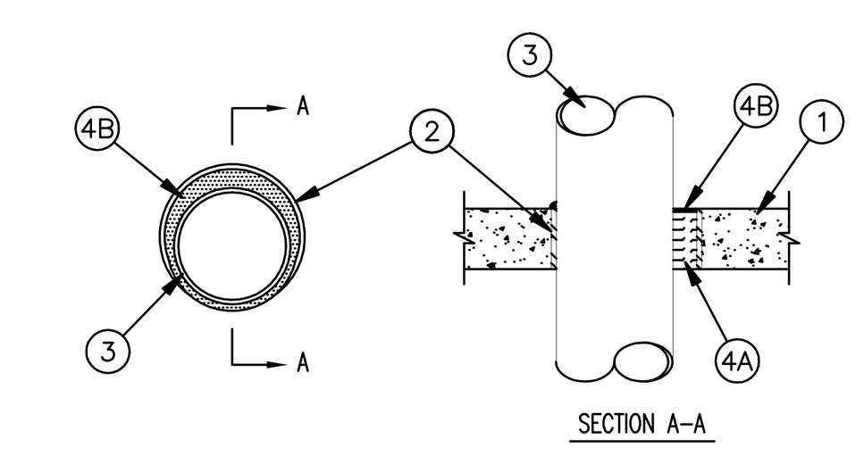
SCHEDULES OF THROUGH PENETRATION FIRESTOP SYSTEMS

CONCRETE FLOORS			CONCRETE OR BLOCK WALLS		
TYPE OF PENETRANT	F-RATING (HR)	UL-CLASSIFIED SYSTEM	TYPE OF PENETRANT	F-RATING (HR)	UL-CLASSIFIED SYSTEM
SINGLE METAL PIPES OR CONDUIT	1	C-AJ-1226	SINGLE METAL PIPES OR CONDUIT	1	C-AJ-1226
	2	C-AJ-1226		2	C-AJ-1226
	3	C-AJ-1226		3	C-AJ-1226
SINGLE INSULATED PIPES	1	C-AJ-5090, C-AJ-5091	SINGLE INSULATED PIPES	1	C-AJ-5090, C-AJ-5091
	2	C-AJ-5090, C-AJ-5091		2	C-AJ-5090, C-AJ-5091
	3	C-AJ-5090		3	C-AJ-5090
NON-INSULATED MECHANICAL DUCTWORK WITHOUT DAMPERS	1	C-AJ-7046	NON-INSULATED MECHANICAL DUCTWORK WITHOUT DAMPERS	1	C-AJ-7046
	2	C-AJ-7046		2	C-AJ-7046
	3	C-AJ-7046		3	C-AJ-7046
MIXED PENETRANTS	1	C-AJ-8041	MIXED PENETRANTS	1	C-AJ-8041
	2	C-AJ-8041		2	C-AJ-8041
	3	C-AJ-8041		3	C-AJ-8041

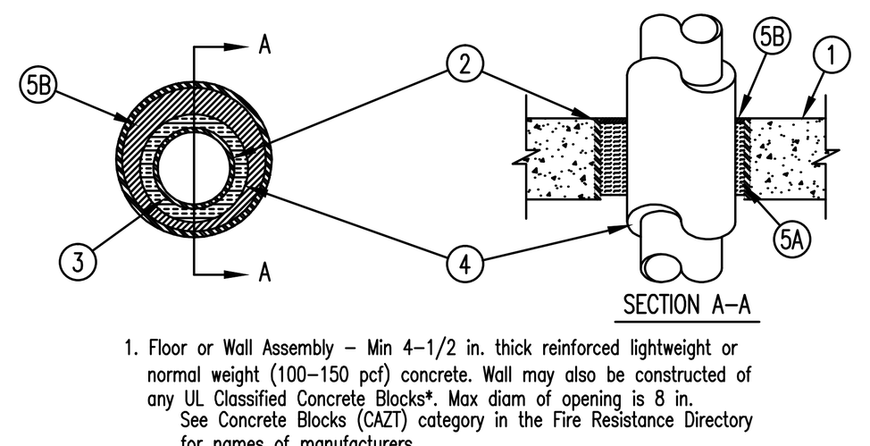
GYPSUM WALLBOARD ASSEMBLIES		
TYPE OF PENETRANT	F-RATING (HR)	UL-CLASSIFIED SYSTEM
METAL PIPES OR CONDUIT	1	W-L-1054, W-L-1164
	2	W-L-1054, W-L-1164
INSULATED PIPES	1	W-L-5029
	2	W-L-5029
NON-INSULATED MECHANICAL DUCTWORK WITHOUT DAMPERS	1	W-L-7040, W-L-7042
	2	W-L-7040, W-L-7042
MIXED PENETRANTS	1	W-L-8013
	2	W-L-8013

NOTES:
1. JOBSITE CONDITIONS OF EACH THROUGH-PENETRATION FIRESTOP SYSTEM MUST MEET ALL DETAILS OF THE UL-CLASSIFIED SYSTEM SELECTED.
2. WHERE MORE THAN ONE APPLICABLE UL-CLASSIFIED SYSTEM IS LISTED IN THE SCHEDULES, CHOOSE THE UL SYSTEM WHICH IS MOST ECONOMICAL FOR EACH THROUGH-PENETRATION FIRESTOP SYSTEM.
3. COORDINATE WORK WITH OTHER TRADES TO ASSURE THE PENETRATION OPENING SIZES ARE APPROPRIATE FOR PENETRANT LOCATIONS, AND VICE VERSA.

System No. C-AJ-1226
F RATING = 3-HR.
T RATING = 0-HR.
L Rating At Ambient – Less than 1 CFM/Sq Ft
L Rating At 400 F – 4 CFM/Sq Ft

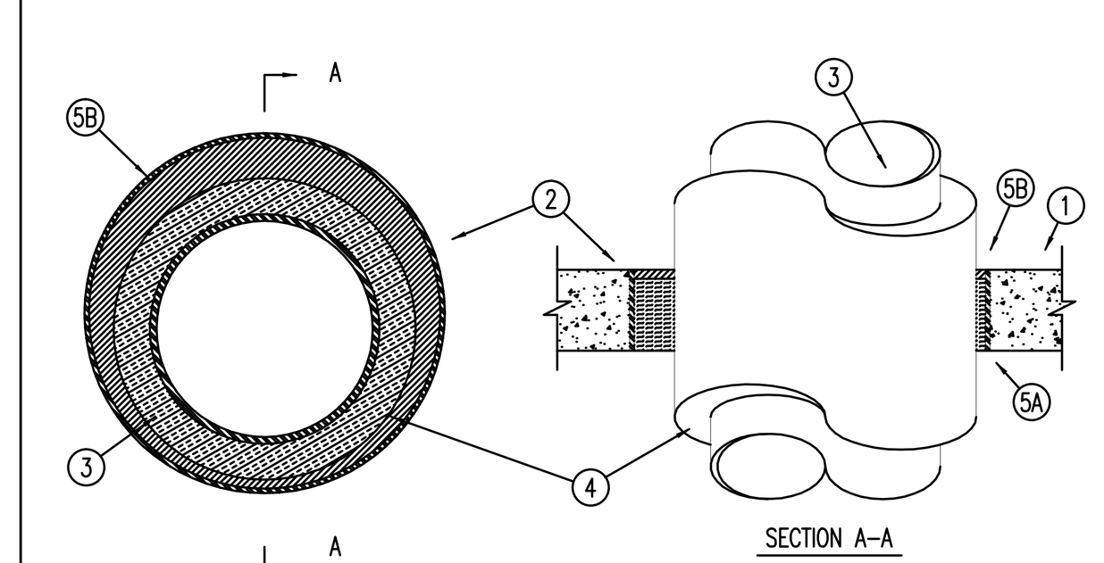


System No. C-AJ-5090
F RATING = 3-HR.
T RATING = 0-HR.
L Rating At Ambient – 4 CFM/Sq Ft
L Rating At 400 F – Less Than 1 CFM/Sq Ft

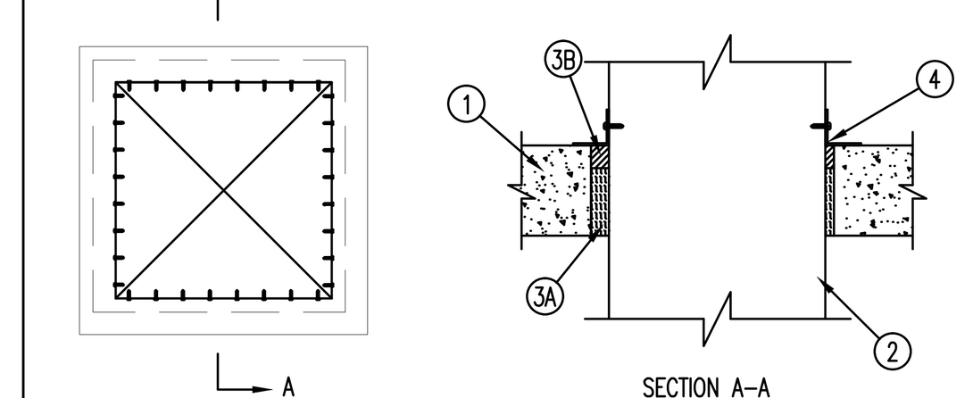


1. Floor or Wall Assembly – Min 4-1/2 in. thick reinforced lightweight or normal weight (100-150 pcf) concrete. Wall may also be constructed of [illegible]

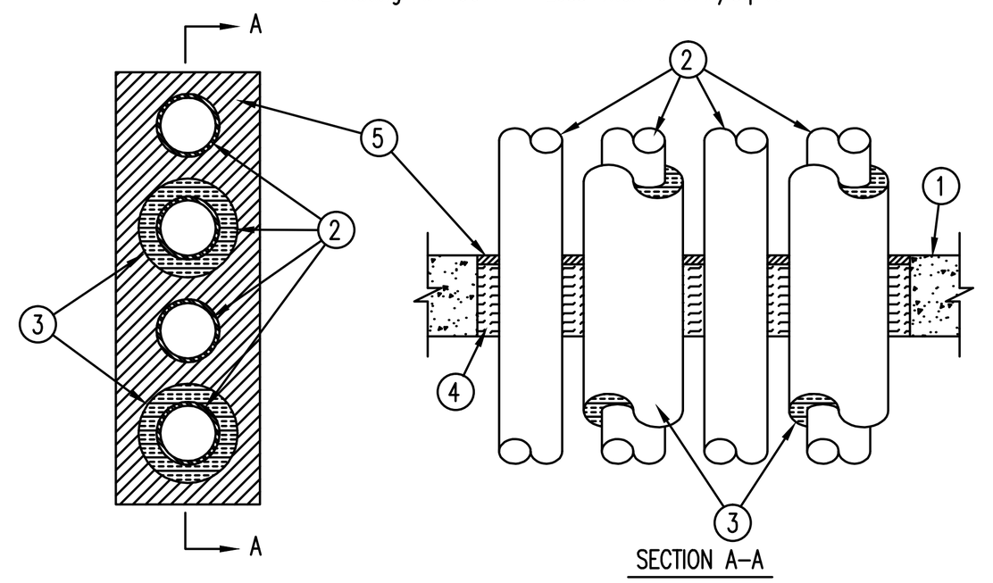
System No. C-AJ-5091
F RATING = 2-HR.
T RATING = 1-HR.
L Rating At Ambient – 4 CFM/Sq Ft
L Rating At 400 F – Less Than 1 CFM/Sq Ft



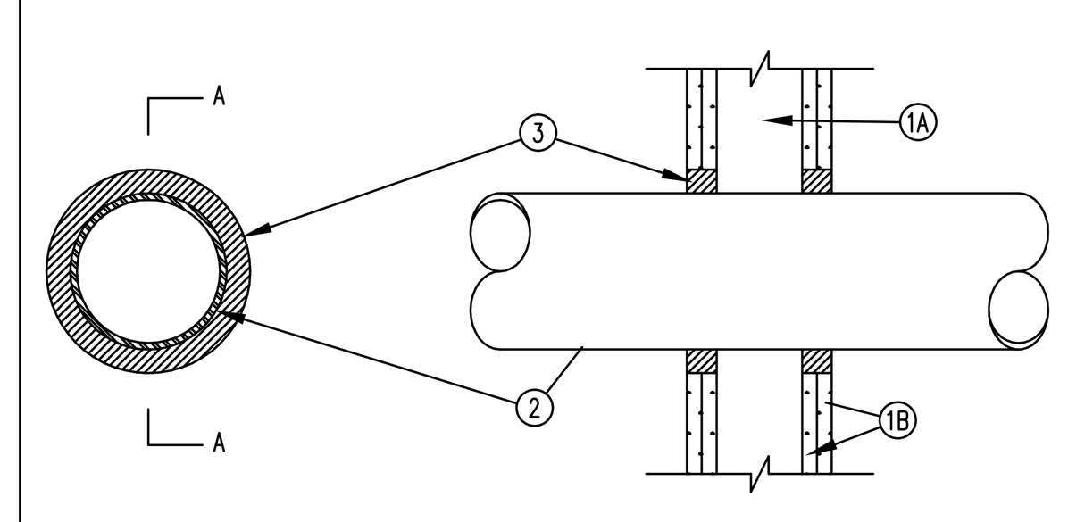
System No. C-AJ-7046
F Rating – 3 Hr
T Rating – 0 Hr



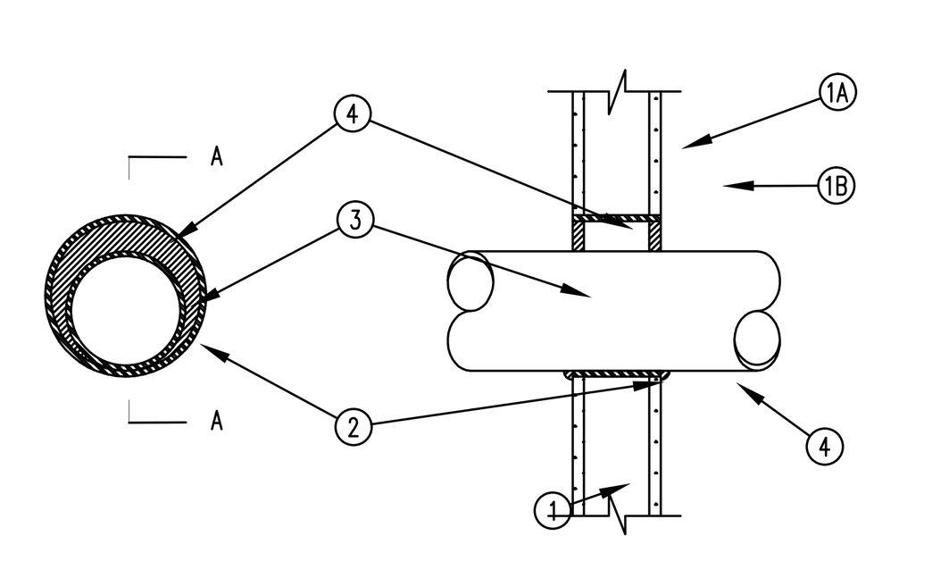
System No. C-AJ-8041
F RATING = 3-HR.
T RATING = 0 and 1 HR.
L Rating At Ambient – 10 CFM/sq ft
L Rating At 400 F – Less Than 6 CFM/sq ft



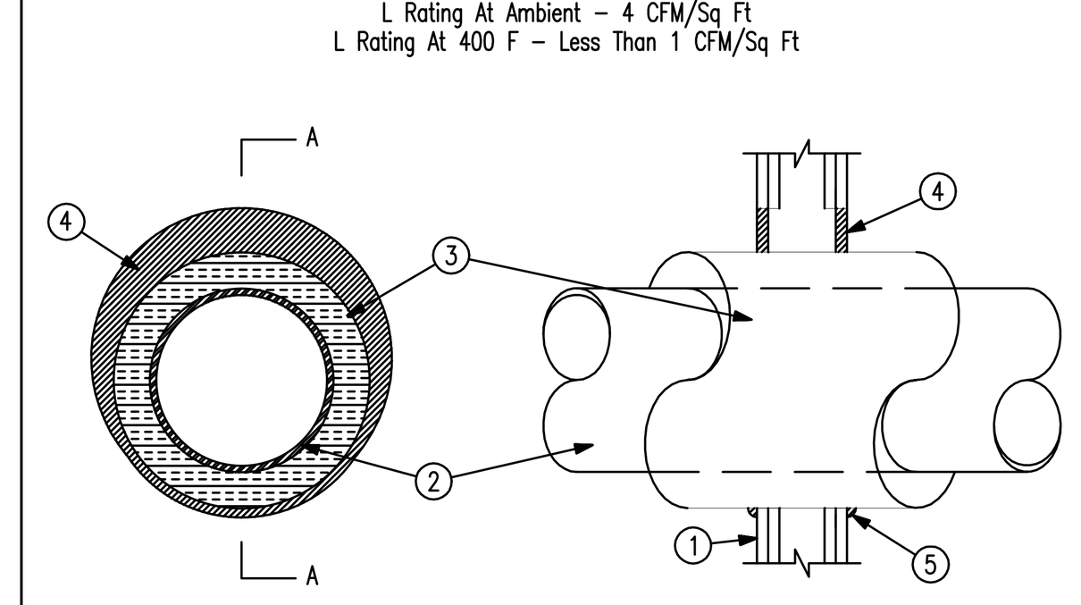
System No. W-L-1054
F Ratings – 1 and 2 Hr (See Items 1 and 3)
T Rating – 0 Hr
L Rating At Ambient – Less Than 1 CFM/Sq Ft
L Rating At 400 F – 4 CFM/Sq Ft



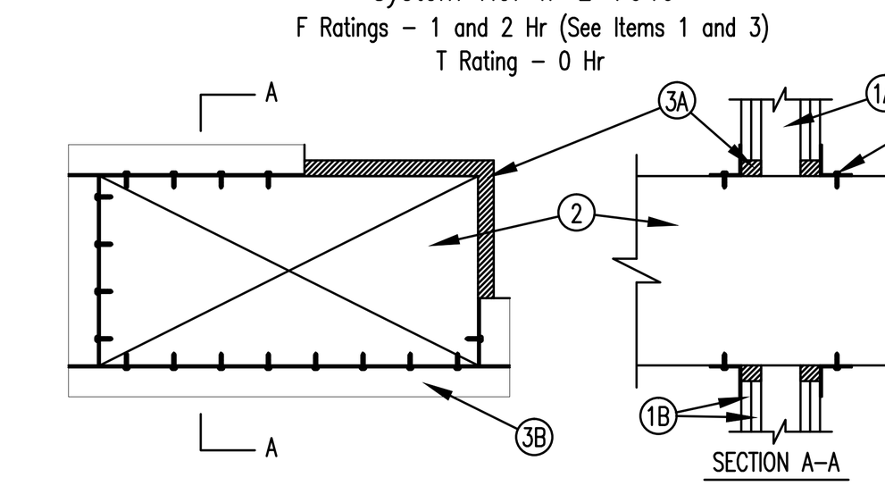
System No. W-L-1164
F Ratings – 1 and 2 Hr (See Items 1 and 4)
T Rating – 0 Hr



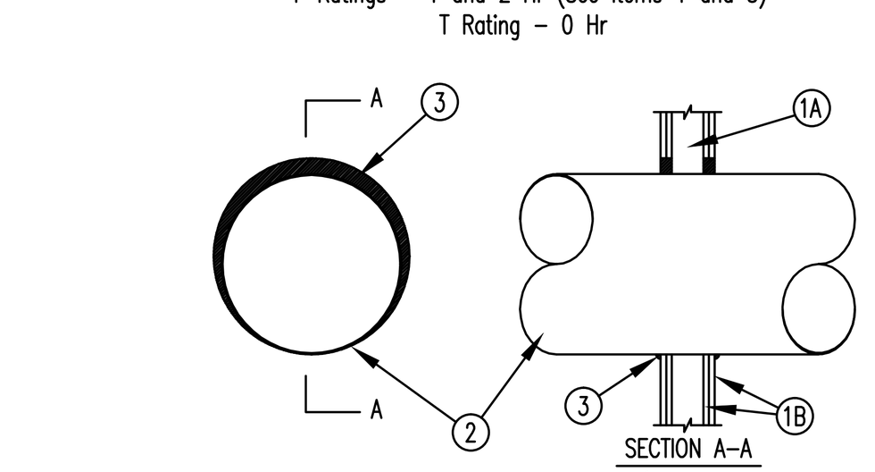
System No. W-L-5029
F Ratings – 1 and 2 Hr (See Item 1)
T Ratings – 1/2, 3/4, 1 and 1-3/4 Hr (See Item 3)
L Rating At Ambient – 4 CFM/Sq Ft
L Rating At 400 F – Less Than 1 CFM/Sq Ft



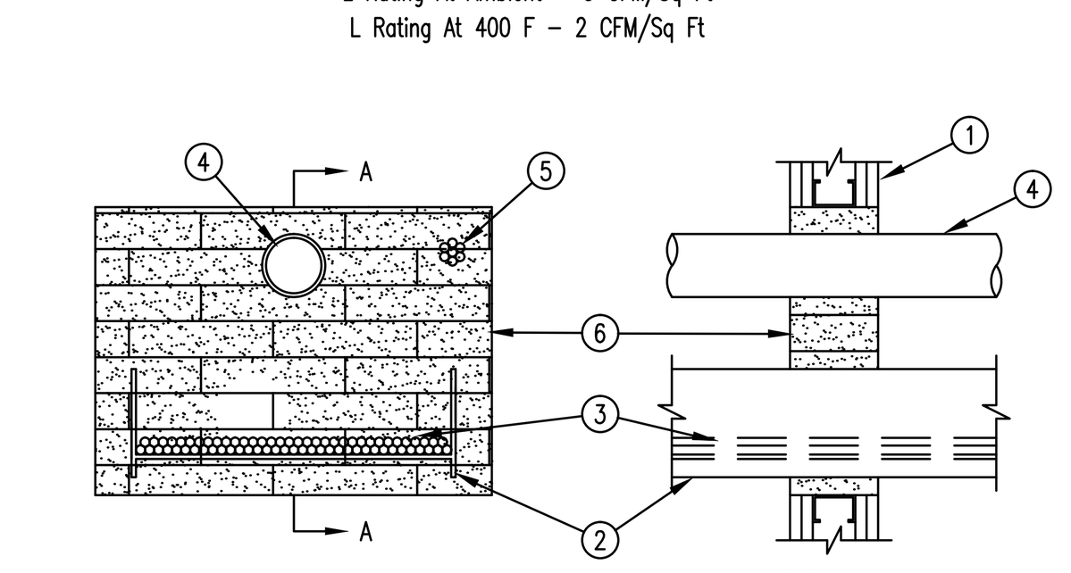
System No. W-L-7040
F Ratings – 1 and 2 Hr (See Items 1 and 3)
T Rating – 0 Hr



System No. W-L-7042
F Ratings – 1 and 2 Hr (See Items 1 and 3)
T Rating – 0 Hr



System No. W-L-8013
F Ratings – 1 and 2 Hr (See Item 1)
T Rating – 0 Hr
L Rating At Ambient – 5 CFM/Sq Ft
L Rating At 400 F – 2 CFM/Sq Ft



BW&A
Barrett, Woodyard & Associates, Inc
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ISSUANCES

No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009

STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

U.L. DETAILS
PLUMBING

K. PRICE	140028
Principal-in-Charge	BW&A Project No.
G. JENKINS	10/17/16
Project Engineer	Date
T. MERCER	
Drawn By	

P7.03
Drawing No.

ISSUED FOR CONSTRUCTION

SOVENT® AERATOR AND STACK RULES

(A) The stack size shall be in accordance with Table B based on the total fixture unit load determined by Table A or A-1.

(B) The stack shall not telescope or decrease in size and must be continued full size through the roof.
(Drawing No. 1)

(C) An Aerator fitting is required at each level where the following horizontal branches enter the stack:

(1) Any soil branch
(2) A waste branch the same size as the stack size
(3) A waste branch one pipe size smaller than the stack size
(Drawing No. 2)

(D) The Aerator fitting shall be placed in a vertical plane. Tilting the Aerator to offset the Sovent® stack is not permitted.

(E) At any level where an Aerator is not required, an "in-line" offset consisting of two one-eighth bends and one quarter bend may be used. The vertical distance between Aerators or "in-line" offsets shall not exceed twenty feet (20'-0"). No more than two consecutive "in-line" offsets are permitted.
(Drawing No. 3)

(F) Waste branches two pipe sizes smaller than the stack size may connect directly to the stack through a sanitary fitting.
(Drawing No. 4)

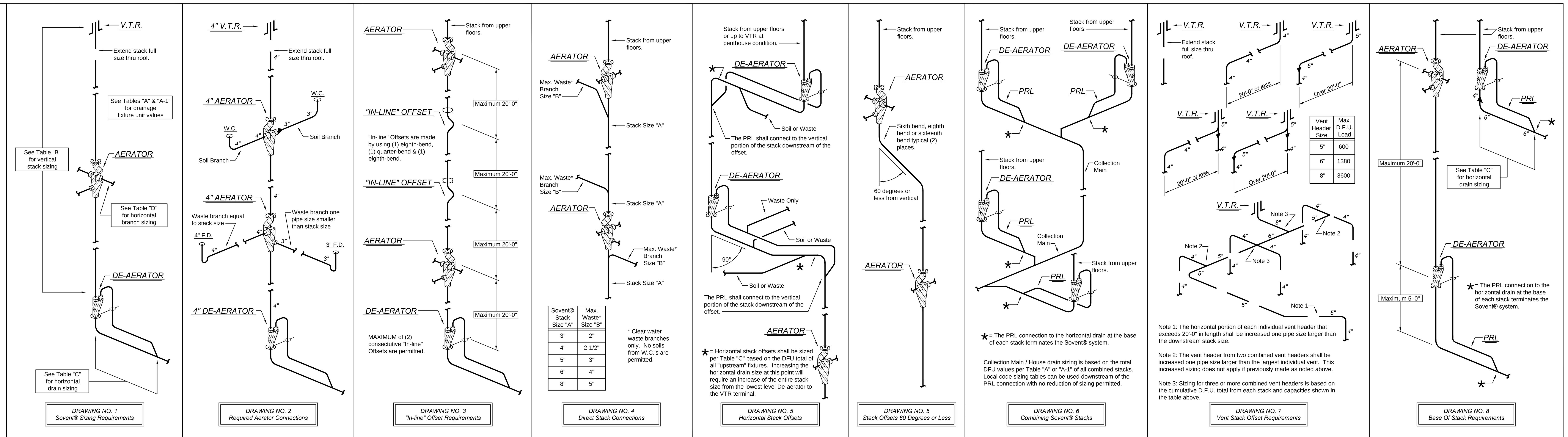
(G) Horizontal stack offsets exceeding sixty-degrees (60°) from vertical require a De-aerator fitting and Pressure Relief Line (PRL). The Pressure Relief Line (PRL) shall connect to the vertical portion of the stack downstream of the offset. Soil and waste branches may connect to the horizontal portion of the offset. These connections shall be made BETWEEN the two vertical portions of the stack at a minimum distance of ten pipe diameters (based on stack size) downstream of the higher vertical stack. Branch connections to a horizontal stack offset less than ten pipe diameters in length shall be made as far downstream on the horizontal as possible. Soil and waste branches shall not connect where the offset makes a horizontal change of direction. Waste branches may connect to the horizontal portion of the Pressure Relief Line (PRL), except on office building battery type installations. Waste branches shall be at least one pipe size smaller than the PRL. Waste branch connections shall not be made into any vertical portion of the PRL. Clothes washers shall not connect to the PRL. Horizontal stack offsets shall be sized per Table C based on the total fixture unit load of all fixtures connecting to the offset and fixtures upstream. The entire stack size shall be no smaller than the largest horizontal offset size.
(Drawing No. 5)

(H) Sovent® stacks may be combined before entry into the main sewer drain. The stacks shall combine downstream of each Pressure Relief Line (PRL) termination point. The total fixture unit load of the combined stacks determines collection drain line sizing.
(Drawing No. 6)

(I) Stack vent headers above the highest fixture may offset prior to the vent thru roof penetration (VTR). The horizontal vent header and VTR shall be increased one pipe size when exceeding twenty feet (20'-0") in horizontal length.
(Drawing No. 7)

(J) Stack vent headers above the highest fixture may be combined prior to the vent thru roof penetration (VTR) with one vertical stack extending through the roof. The one combined vertical stack shall be one pipe size larger than the largest of the combined stacks. If the distance between any stack and the VTR exceeds twenty feet (20'-0"), the horizontal offset shall be increased one (1) pipe size larger than the downstream stack.
(Drawing No. 7)

The above information is based on data found in ***Cast Iron Sovent® Design Manual #802*** as published by Conine Manufacturing Co., Inc. @ Flint, Texas. For more detailed information contact them at 1-800-537-5895 or visit www.castironsovent.com



DRAWING NO. 1 Sovent® Sizing Requirements
DRAWING NO. 2 Required Aerator Connections
DRAWING NO. 3 "In-line" Offset Requirements
DRAWING NO. 4 Direct Stack Connections
DRAWING NO. 5 Horizontal Stack Offsets
DRAWING NO. 5 Stack Offsets 60 Degrees or Less
DRAWING NO. 6 Combining Sovent® Stacks
DRAWING NO. 7 Vent Stack Offset Requirements
DRAWING NO. 8 Base Of Stack Requirements

Sovent® Stack Size "A"	Max. Waste* Branch Size "B"
3"	2"
4"	2-1/2"
5"	3"
6"	4"
8"	5"

Vent Header Size	Max. D.F.U. Load
5"	600
6"	1380
8"	3600

SOVENT® DE-AERATOR AND BUILDING DRAIN RULES

(A) A De-aerator fitting is required at the base of each stack. The De-aerator fitting shall be installed in the vertical portion of the stack. The distance between the De-aerator fitting and the Sovent® building drain shall not exceed five feet (5'-0"). The Sovent® building drain size shall be in accordance with Table C based on the total fixture unit load determined by Table A or A-1. The transition to a larger Sovent® building drain size shall be made in the vertical stack below the De-aerator fitting, except as noted in paragraph "I".
(Drawing No. 8)

(B) The De-aerator fitting uses a Pressure Relief Line (PRL). The Pressure Relief Line (PRL) connects to the Sovent® building drain a MINIMUM distance of ten pipe diameters (based on stack size) downstream from the centerline of the stack. The PRL connects to the Sovent® building drain above the centerline of the drain. The PRL may be rolled to the side providing the bottom of the PRL is above the centerline of the Sovent® building drain.
(Drawing No. 9)

(C) The installed slope for the Sovent® building drain and PRL is recommended to be one-quarter inch per foot (2%). Installed slopes of one-eighth inch per foot (1%) are permitted however pipe capacity is reduced by a factor of 0.8 as shown in Table C. Installed slopes less than one-eighth inch per foot (1%) are strictly prohibited.

(D) Soil and waste branches may connect to the Sovent® building drain BETWEEN the centerline of the stack and the termination point of the Pressure Relief Line (PRL). All connections shall be made a MINIMUM distance of ten pipe diameters (based on stack size) downstream from the centerline of the stack. Soil and waste branches shall not connect where the Sovent® building drain makes a horizontal change of direction.
(Drawing No. 10)

(E) Waste branches may connect to the horizontal portion of the Pressure Relief Line (PRL), except on battery type installations. Waste branches shall be at least one pipe size smaller than the PRL. Waste branch connections shall not be made into any vertical portion of the PRL. Clothes washers shall not connect to the PRL.
(Drawing No. 11)

(F) Soil and waste branches may connect downstream of the PRL termination point providing conventional plumbing rules are applied. The vent header from these fixtures may connect to the vertical portion of a Sovent® stack below an Aerator fitting through a sanitary tee installed with the flow radius down. The vent load of these fixtures shall be added to the fixture unit load on the Sovent® stack.
(Drawing No. 13)

(G) Soil and waste branches may connect to the vertical stack below the De-aerator fitting. These connections shall be made through a wye-type fitting or through an Aerator fitting. Entry to the Sovent® building drain from the stack shall be made using a short sweep, long sweep, two one-eighth bends, or a combination wye & one-eighth bend fitting.
(Drawing No. 14)

(H) Fixtures considered too remote from the Sovent® stack may be plumbed by conventional methods. This waste and vent area shall be sized in accordance with local prevailing ordinances.
(Drawings No. 12 & No. 15)

(I) Office building battery type installations and Sovent® stacks serving clothes washers shall use a De-aerator fitting equal in size to the Sovent® building drain serving that stack. A four-inch (4") De-aerator fitting will be required on three-inch (3") Sovent® stacks.

The above information is based on data found in ***Cast Iron Sovent® Design Manual #802*** as published by Conine Manufacturing Co., Inc. @ Flint, Texas. For more detailed information contact them at 1-800-537-5895 or visit www.castironsovent.com

TABLE A

Fixture Type	Trap Size	D.F.U. Rating
Bar Sink	1-1/2	2
Bath Group (Full)*		6
Bathtub	1-1/2	2
Bidet	1-1/2	2
Clothes Washer	2	4
Dishwasher	1-1/2	2
Disposer	1-1/2	3
Drinking Fountain	1-1/4	1
Floor Drain - 2"	2	2
Floor Drain - 3"	3	5
Kitchen Group***		5
Lavatory	1-1/4	1
Service Sink	3	5
Shower	2	2
Sink	1-1/2	2
Urinal	2	4
Water Closet	3	6

All Other Fixtures

Trap Size	D.F.U. Rating
1-1/4	1
1-1/2	2
2	3
2-1/2	4
3	5
4	6

* Bath Group (Full) consists of (1) W.C., (1) Lavatory & (1) Tub/Shower

** Bath Group (Half) consists of (1) W.C. & (1) Lavatory

*** Kitchen Group consists of (1) Sink Trap, with Dishwasher and Disposer

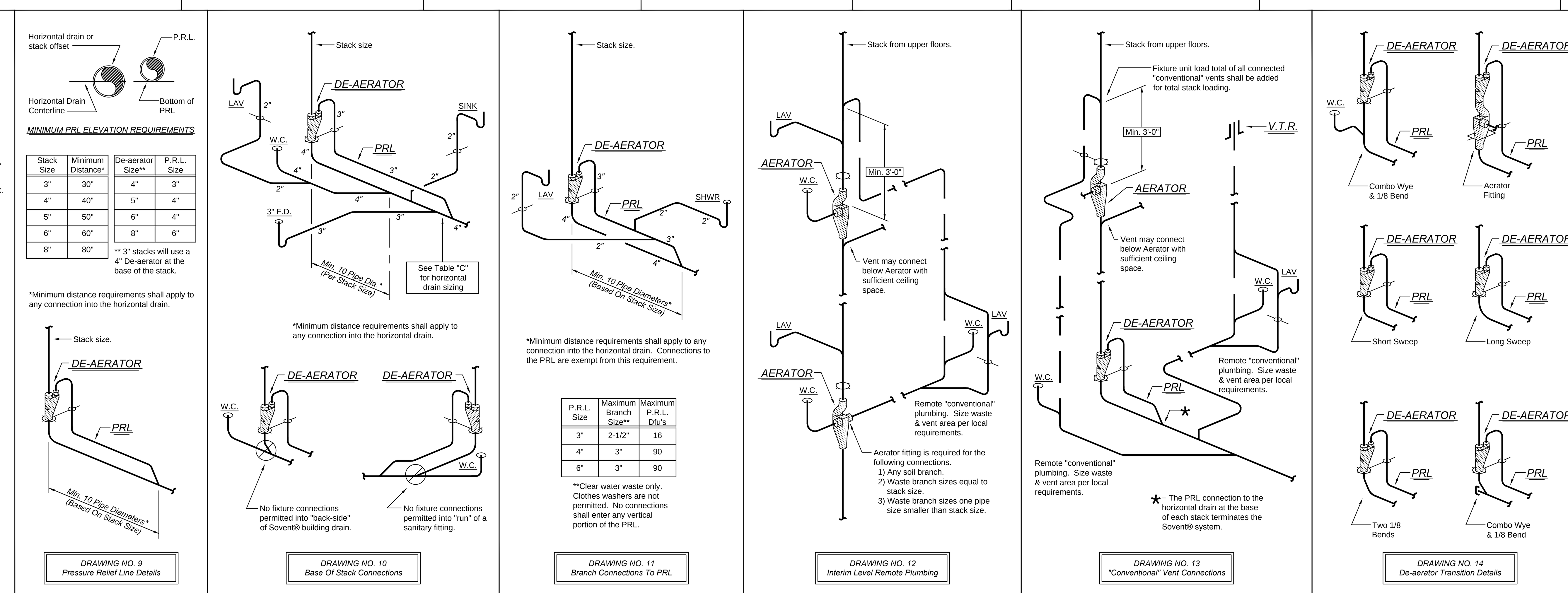
TABLE A-1

Drainage Fixture Unit (DFU) Values For Water Saving Fixtures

Fixture Type	Trap Size	Building Type - D.F.U. Rating Apt/Condo	Office	Hotels
Bar Sink	1-1/4	0.5	0.5	0.5
Bath Group (Full)*		3.0		4.0
Bath Group (Half)**		2.0		3.0
Bathtub	1-1/2	3.0		3.0
Bidet	1-1/2	1.0		1.0
Clothes Washer	2	4.0		
Dishwasher	1-1/2	2.0	2.0	
Disposer	1-1/2	0.5		
Drinking Fountain	1-1/4		0.5	
Floor Drain (Emergency)	2 thru 4	0.0	0.0	0.0
Kitchen Group***		3.0		
Lavatory	1-1/4	1.0	1.0	0.5
Service Sink	3	3.0	3.0	3.0
Shower	2	2.0		2.5
Sink	1-1/2	2.0	2.0	2.0
Urinal	2		3.0	
Water Closet	3	3.0		3.0
Water Closet (Public)	3		4.0	

NOTE: Increased W.C. branch sizing as outlined in Cast Iron Sovent® Design Manual #802 (Branch Rules- para. H) does not apply when using Table A-1.

The above information is based on data found in ***Cast Iron Sovent® Design Manual #802*** as published by Conine Manufacturing Co., Inc. @ Flint, Texas. For more detailed information contact them at 1-800-537-5895 or visit www.castironsovent.com



DRAWING NO. 9 Pressure Relief Line Details
DRAWING NO. 10 Base Of Stack Connections
DRAWING NO. 11 Branch Connections To PRL
DRAWING NO. 12 Interim Level Remote Plumbing
DRAWING NO. 13 "Conventional" Vent Connections
DRAWING NO. 14 De-aerator Transition Details

MINIMUM PRL ELEVATION REQUIREMENTS

Stack Size	Minimum Distance*	De-aerator Size**	P.R.L. Size
3"	30"	4"	3"
4"	40"	5"	4"
5"	50"	6"	4"
6"	60"	8"	6"
8"	80"	8"	6"

P.R.L. Size	Maximum Branch Size**	Maximum P.R.L. Dfu's
3"	2-1/2"	16
4"	3"	90
6"	3"	90

SOVENT® BRANCH RULES

(A) The maximum developed length of a three-inch (3") soil branch shall not exceed twelve feet (12'-0"). The maximum developed length of a four-inch (4") soil branch shall not exceed twenty-seven feet (27'-0"). Developed lengths are measured along the centerline of all horizontal branch piping located in ceiling and wall areas. Vertical drops from trap arms or fixtures are not included in the developed length calculations.
(Drawing No. 16)

(B) The maximum developed length of a two-inch (2") waste branch shall not exceed fifteen feet (15'-0"). The maximum developed length of a three-inch (3") waste branch shall not exceed fifteen feet (15'-0"). Developed lengths are measured along the centerline of all horizontal branch piping located in ceiling and wall areas. Vertical drops from trap arms or fixtures are not included in the developed length calculations. Waste branches two pipe sizes smaller than the stack size may connect directly to the stack through a sanitary fitting.
(Drawing No. 17)

(C) Branch sizing shall be in accordance with Table D based on the total fixture unit load determined by Table A or A-1. The installed slope for horizontal branches is recommended to be one-quarter inch per foot (2%). Installed slopes of one-eighth inch per foot (1%) are permitted however pipe capacity is reduced by a factor of 0.8 as shown in Table D. Installed slopes less than one-eighth inch per foot (1%) are strictly prohibited.

(D) Branches having three ninety-degree (90°) horizontal changes of direction shall be increased one pipe size at the third ninety degree ( ) change of direction nearest the stack. This increase is not required if one of the directional changes can be made with two one-eighth bends or a short sweep radius bend.
(Drawing No. 18)

(E) The transition from a horizontal or vertical branch to another horizontal branch must be made with a wye-type fitting.
(Drawing No. 18)

(F) Horizontal branch piping at the base of a vertical drop exceeding forty inches (40") in height shall be increased one pipe size. This increase is not required when the lower portion of the drop is made at forty-five degrees (45°) and the upper vertical portion is less than forty inches (40").
(Drawing No. 19)

(G) Branch piping with vertical drops exceeding ten feet (10'-0") shall be increased one pipe size.
(Drawing No. 19)

(H) A three-inch (3") soil branch shall be increased one pipe size at the connection point of other fixtures. This increase is not required when computing fixture unit loads from Table A-1.

(I) Two fixtures using 1-1/4" tailpiece/trap sizes may combine into a single two-inch (2") vertical drop. Fixtures using 1-1/2" tailpiece/trap sizes and larger require separate vertical drops from each trap arm or may combine into a single vertical drop that is increased one pipe size. This increase is not required if the change in elevation is made at forty-five degrees (45°). The fixture trap arm shall be one pipe size larger than the fixture tailpiece and this increase may be made at the wall.
(Drawing No. 20)

(J) Clothes washer branches shall be three-inch (3") in size. Clothes washer branches with no vertical drops and developed lengths five feet (5'-0") or less may be two-inch (2") in size.
(Drawing No. 20)

(K) Pressure Equalizing Lines may be used as an alternate to the rules concerning increased branch sizes. Pressure Equalizing Lines shall rise vertically above the branch and connect to the Sovent stack above the flood rim of the fixtures they serve. Pressure Equalizing Lines may be led directly through the roof.

The above information is based on data found in ***Cast Iron Sovent® Design Manual #802*** as published by Conine Manufacturing Co., Inc. @ Flint, Texas. For more detailed information contact them at 1-800-537-5895 or visit www.castironsovent.com

TABLE B

Size	Max. DFU's
* 3"	64
* 3" over 7 floors	102
4"	504
5"	1,010
6"	2,200
8"	3,900

* No more than twelve (12) W.C.'s are permitted on 3" stacks. The 3" stack will use a 4" De-aerator at the base of the stack.

TABLE C

Drain Size	1/4"/ft. (2%) Max. D.F.U.	1/8"/ft. (1%) Max. D.F.U.
4"	120	96
5"	350	280
6"	850	680
8"	2,700	2,160
10"	3,900	3,120
12"	5,800	4,640

Note: This table is also used for sizing horizontal stack offsets.

TABLE D

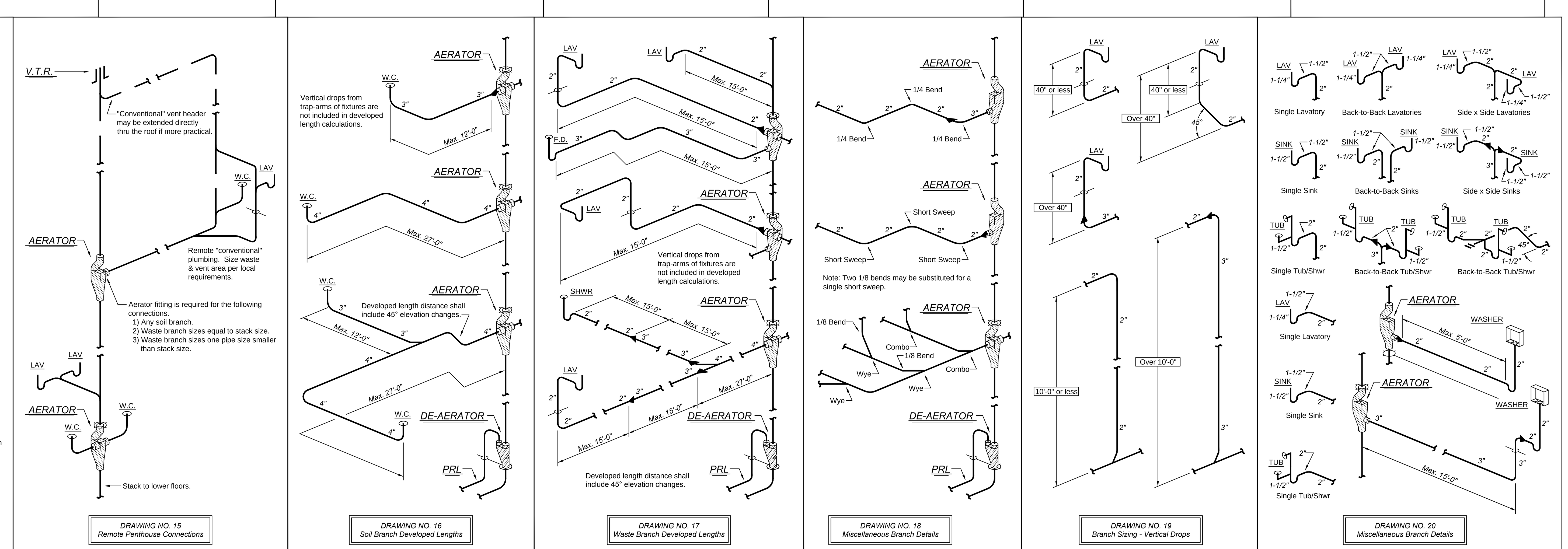
Branch Size	1/4"/ft. (2%) Max. D.F.U.	1/8"/ft. (1%) Max. D.F.U.
2"	** 6	** 5
3"	16	13
4"	90	72

** No W.C.'s are permitted on 2" branches. Clothes washer branches 2" in size shall not exceed five feet (5'-0") in developed length.

Cast Iron Sovent® systems shall be designed using the load values as shown herein.

For loading values and design applications not shown in this manual, please contact our office.

The above information is based on data found in ***Cast Iron Sovent® Design Manual #802*** as published by Conine Manufacturing Co., Inc. @ Flint, Texas. For more detailed information contact them at 1-800-537-5895 or visit www.castironsovent.com



DRAWING NO. 15 Remote Penthouse Connections
DRAWING NO. 16 Soil Branch Developed Lengths
DRAWING NO. 17 Waste Branch Developed Lengths
DRAWING NO. 18 Miscellaneous Branch Details
DRAWING NO. 19 Branch Sizing - Vertical Drops
DRAWING NO. 20 Miscellaneous Branch Details

1 P7.04 SOVENT DETAILS
NO SCALE

BW&A
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GEORGIA REGISTERED No. 032221 PROFESSIONAL ENGINEER GARRY M. JENKINS

ISSUANCES		
No.	Drawing Issue Description	Date
	BUILDING PERMIT	2016.10.17

ALPHARETTA CONFERENCE CENTER & THE HOTEL AT AVALON

9000 AVALON BOULEVARD / ALPHARETTA, GEORGIA 30009
♦
STORMONT HOSPITALITY GROUP, LLC / NORTH AMERICAN PROPERTY GROUP

SOVENT DETAILS
PLUMBING

K. PRICE Principal-in-Charge	140028 BW&A Project No.
G. JENKINS Project Engineer	10/17/16 Date
T. MERCER Drawn By	

P7.04
Drawing No.

ISSUED FOR CONSTRUCTION